



1320 East Pine

REVOLVE
DRB RECOMMENDATION MEETING / **SDCI** #3033207-LU / 27 JAN 2021

OWNER
PINE TAR LLC

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TABLE OF CONTENTS

4	PROJECT DETAILS
5-7	SITE CONTEXT
8	ZONING SUMMARY
9	DEVELOPMENT STANDARDS
10	RECOMMENDATION RESPONSE SUMMARY
11	APPROVED EDG DESIGN
12-17	BUILDING PLANS
18-19	BUILDING SECTIONS
20-26	BUILDING ELEVATIONS
27-28	BUILDING RENDERINGS
29-31	MATERIAL PALETTE
32-33	STREET LEVEL LANDSCAPE PLAN
34-35	ROOF LEVEL LANDSCAPE PLAN
36	LIGHTING PLAN
37-38	NIGHTTIME BUILDING RENDERINGS
39	SIGNAGE
40-47	THEME: MASSING & ARCHITECTURAL CONCEPT
48-49	THEME: PINE ST.
50	THEME: 14TH AVE STREETSCAPE
51	THEME: WEST PARTY WALL
52-53	THEME: NORTH COTTAGE ROW
54	THEME: LANDSCAPE
55-56	THEME: GROUND LEVEL PROGRAMMING
57-59	DEPARTURE REQUESTS
60	SHADOW STUDY

APPENDIX A: ADDITIONAL PAGES FROM EDG PACKET



PROJECT DETAILS

PROJECT INFORMATION

ADDRESS:	1320 E Pine Street Seattle, WA 98122
SDCI PROJECT NUMBER:	3033207-LU
NUMBER OF RESIDENTIAL UNITS:	79
NUMBER OF PARKING STALLS:	28 (LEVEL P1)
COMMERCIAL AREA:	1,710 SF
BUILDING AREA:	62,545 SF

ZONING DATA

PARCEL #'s:	#6003000810, #6003000805, #6003000814
ZONING:	NC3P-40 (as currently vested)
OVERLAYS:	Pike/Pine Urban Village
LOT AREA:	17,460 SF

FLOOR AREA RATIO:

Allowable FAR:	3.25 / 56,745 GSF
Project FAR:	2.91 / 50,823 GSF (SMC 23.47A.013)

STRUCTURE HEIGHT:

Maximum Height: 40'
Additional Height: +4' for a floor-to-floor height of 13 feet is provided for nonresidential uses at street level.
(SMC 23.47A.012)

LANDSCAPE REQUIREMENTS:

Required Green Factor Score: 0.3
(SMC 23.86.019)

AMENITY REQUIREMENTS:

5% of the residential area; 2,406 SF min.
The amenity area must be common, not within a structure, a min. of 250 SF, a min. of 10' wide in each direction. Project amenity requirement: 5,583 SF
(SMC 23.47A.024)vvv

REQUIRED PARKING:

No minimum parking requirement for commercial or residential uses in multifamily zones within urban centers.
(SMC 23.54.015)

LOCATION

The property is located near the SE Corner of E Pine St and 14th Ave in the Pike/Pine Neighborhood of Seattle. The site is a combination of 3 parcels that primarily front 14th Ave, with a flag component that extends to Pine St between Seattle Fire Station 25 and two adjacent buildings that occupy the corner lot. The adjacent zoning is a mix of NC3P-65 along E Pine St and LR3 to the area north of the site.

DEVELOPMENT OBJECTIVE

The applicants development objective is to provide the highest and best use for the site by creating a high-density mixed-use development. The proposed project is a four-story building consisting of 79 units and 1,710 square feet of retail above a below-grade parking structure that will house 28 stalls. Pedestrian access to the retail will be from E Pine St, residential lobby access is from 14th Ave, while the parking will be accessed from a drive ramp mid-block on 14th Ave. The proposed structure height is within the required 44'-0" height limit which includes the 4 foot bonus for having a minimum floor-to-floor height of 13'-0" for ground level commercial spaces.

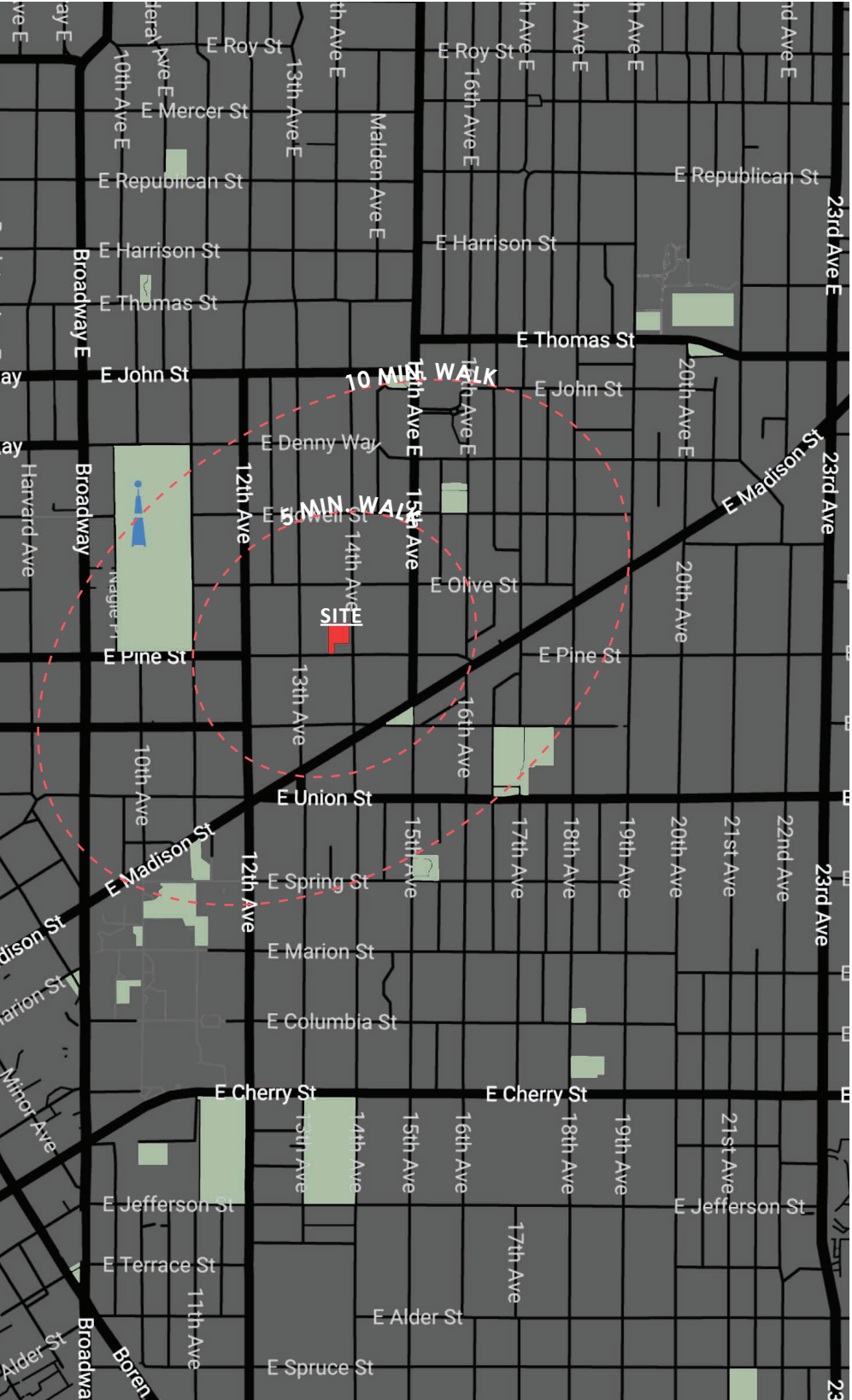
DESIGN OBJECTIVES

This building site provides several unique opportunities. The major building form is scaled to compliment the multifamily building across 14th to the east. A slender section of the site projects south to front E Pine St, allowing for a dramatic vertically scaled expression along the busier street and is activated at ground level with retail. Critical neighborhood nodes like this need to be treated with care and crafted to capture the vibrancy and unique character of the place. As the Pike/Pine neighborhood continues to evolve there are opportunities to impart a sense of care and community while utilizing mid-scale projects to impart an urban scale and texture to the busier arterials.

The design will take full advantage of three site opportunities: North to south site orientation, narrow site exposure on E Pine, and good solar exposure. A ground-level setback along 14th will allow the urban space to extend below the upper mass of the building, providing for variety, depth and texture at the street level.

The team's goals for the building design include:

- Create a nuanced and carefully detailed exterior
- Provide a variety of outdoor spaces via in internal courtyard, North setback, and residential setback at street level along 14th Ave
- Act as a warm, carefully modulated urban infill component
- Enhance the unique identity of the neighborhood
- Blend clean minimalist design with craft inspired materials



NEIGHBORHOOD MAP

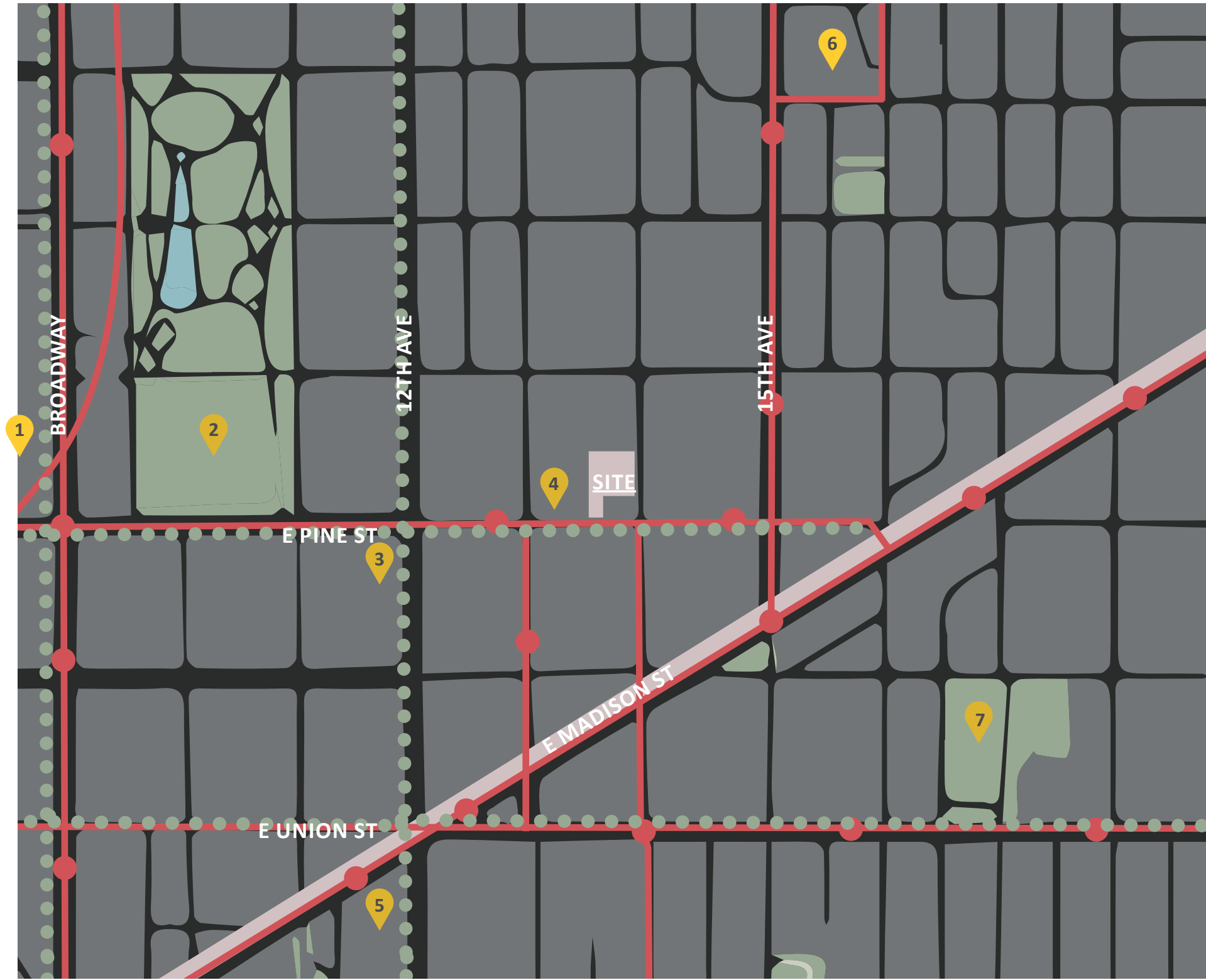
SITE CONTEXT

ACCESS & TRANSIT MAP

The location provides convenient access to both regional and local transit via 12th Ave and E Madison St, as well as major employment centers. The site is only 5 blocks from Seattle Central College, 2 blocks from Cal Anderson Park, 6 blocks from Seattle World School, 2 blocks from the Seattle Academy of Arts and Sciences, and 6 blocks from the Lemieux Library and McGoldrick Learning Commons.

The site is 4 blocks from Broadway with a multitude of public transportation options. The streetcar runs north to south on Broadway connecting to several neighborhoods to the south and into Pioneer Square. The Capitol Hill Light rail station is a 1/2 mile northwest of the site at the corner of Broadway and Denny.

- METRO TRANSIT STOP
- METRO TRANSIT ROUTE
- BICYCLE FRIENDLY ROUTE
- MAJOR ARTERIAL
- NEIGHBORHOOD AMENITY
 - 1. SEATTLE CENTRAL COLLEGE
 - 2. CAL ANDERSON PARK
 - 3. SEATTLE POLICE DEPT. EAST PRECINCT
 - 4. SEATTLE FIRE STATION 25
 - 5. SEATTLE UNIVERSITY
 - 6. KAISER PERMANENTE
 - 7. TT MINOR PLAYGROUND



ACCESS AND TRANSIT MAP

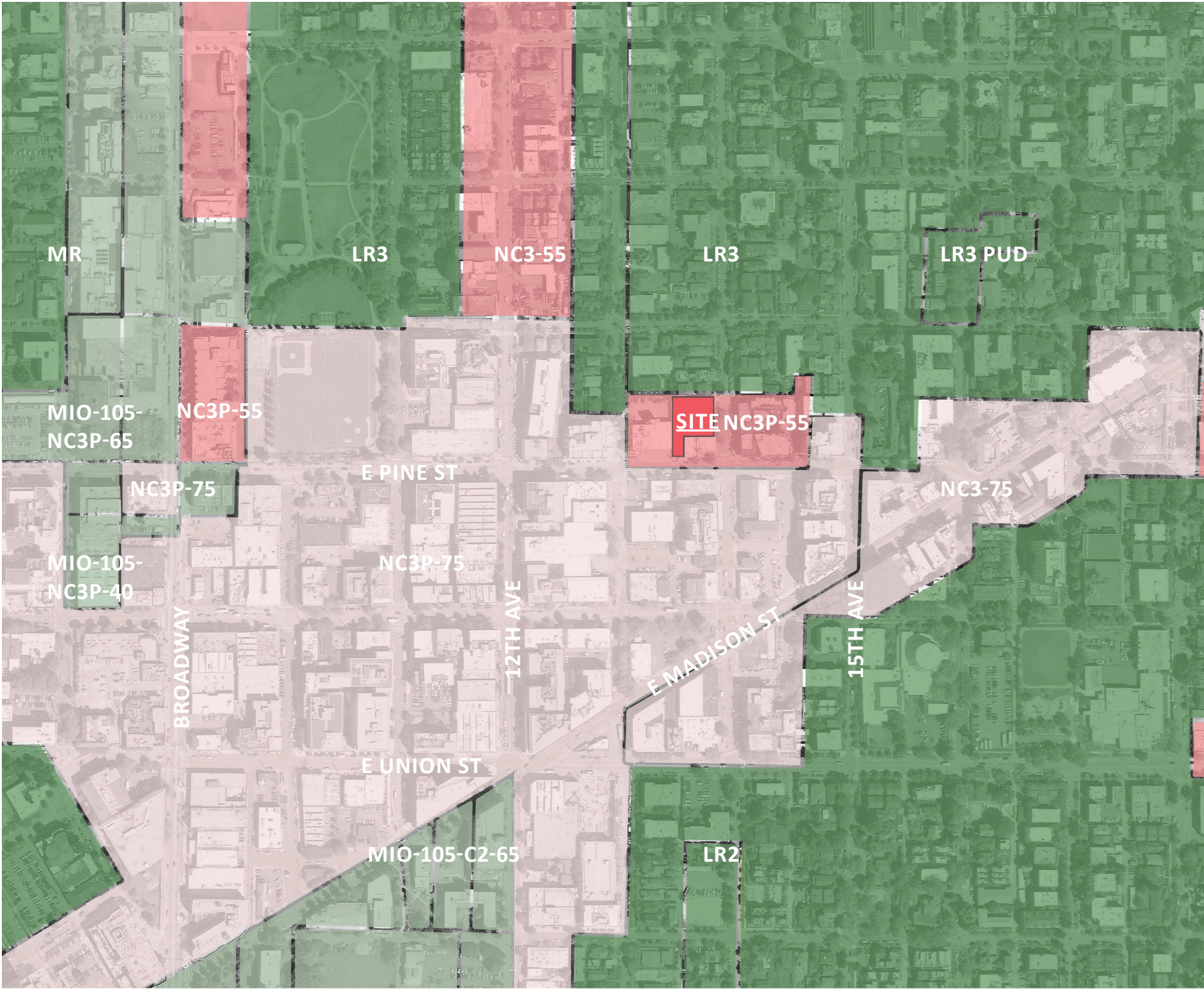


1320 E PINE

SITE CONTEXT

ZONING MAP

The site, as currently vested, is zoned NC3P-40 and is located within the Pike/Pine Urban Village. The adjacent property to the North is LR3, the projects to the east and west along E Pine St are both zoned NC3P-55. A higher NC3P-75 zone surrounds the site to the east, west, and south.



- NEIGHBORHOOD COMMERCIAL
- LOW RISE
- INSTITUTIONAL





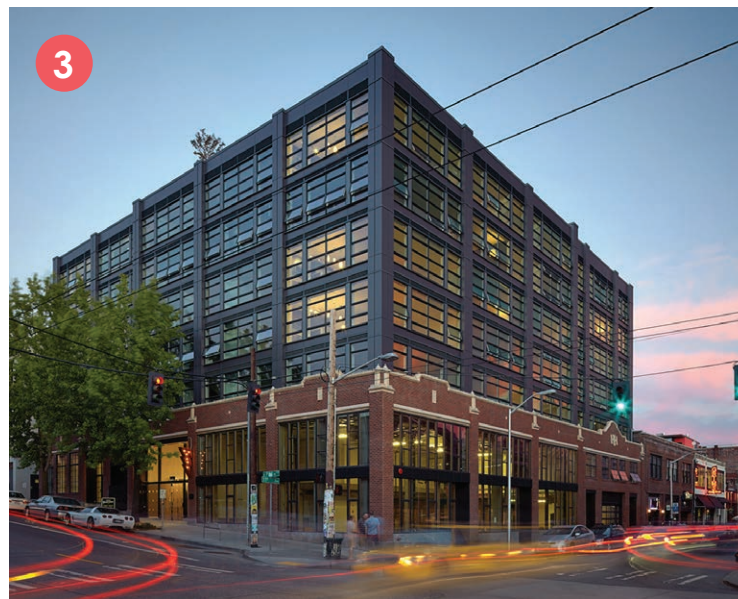
AERIAL VIEW OF SURROUNDING NEIGHBORHOOD
(LOOKING NORTH)



• MIX OF OLD WITH NEW, PANELIZED FACADE SYSTEM



• TAUGHT SKIN SYSTEM, PAINTED METAL FACADE
• DISTINCT RETAIL BASE



• DISTINCT CORNER PRESENCE
• UPPER LEVEL MATERIAL SHIFT



• HIGHLY GRAPHIC, CLEAN FORMS



• ORGANIZED WINDOW GROUPING
• TRADITIONAL FACADE AND MASSING



• SIMPLE FACADE WITH CLEAN DETAILING AND HIGH
TRANSPARENCY
• RECESSED GROUND FLOOR

SITE CONTEXT

USE MAP & SELECT NEIGHBORING BUILDINGS

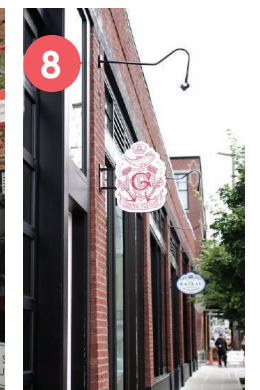
The architecture surrounding the site is a mix of architectural styles and scales. Adjacent to the site, E Pine St contains a mix of building types of either larger multifamily (typically 65') , mid-rise multifamily (40') and 2-story commercial uses (25'). The styles range from the contemporary to several older brick buildings. Side streets contain mostly newer townhomes (35'), older single family (20'+) and smaller scale brick apartment buildings (35').

MIXED-USE/ MULTIFAMILY

1. Pike Motorworks
2. Beryl Apartments
3. Sunset Electric
4. 14th & Madison
5. Reo Flats
6. Agnes Lofts

RETAIL

7. Lost Lake Cafe
8. General Porpoise
9. Chophouse Row

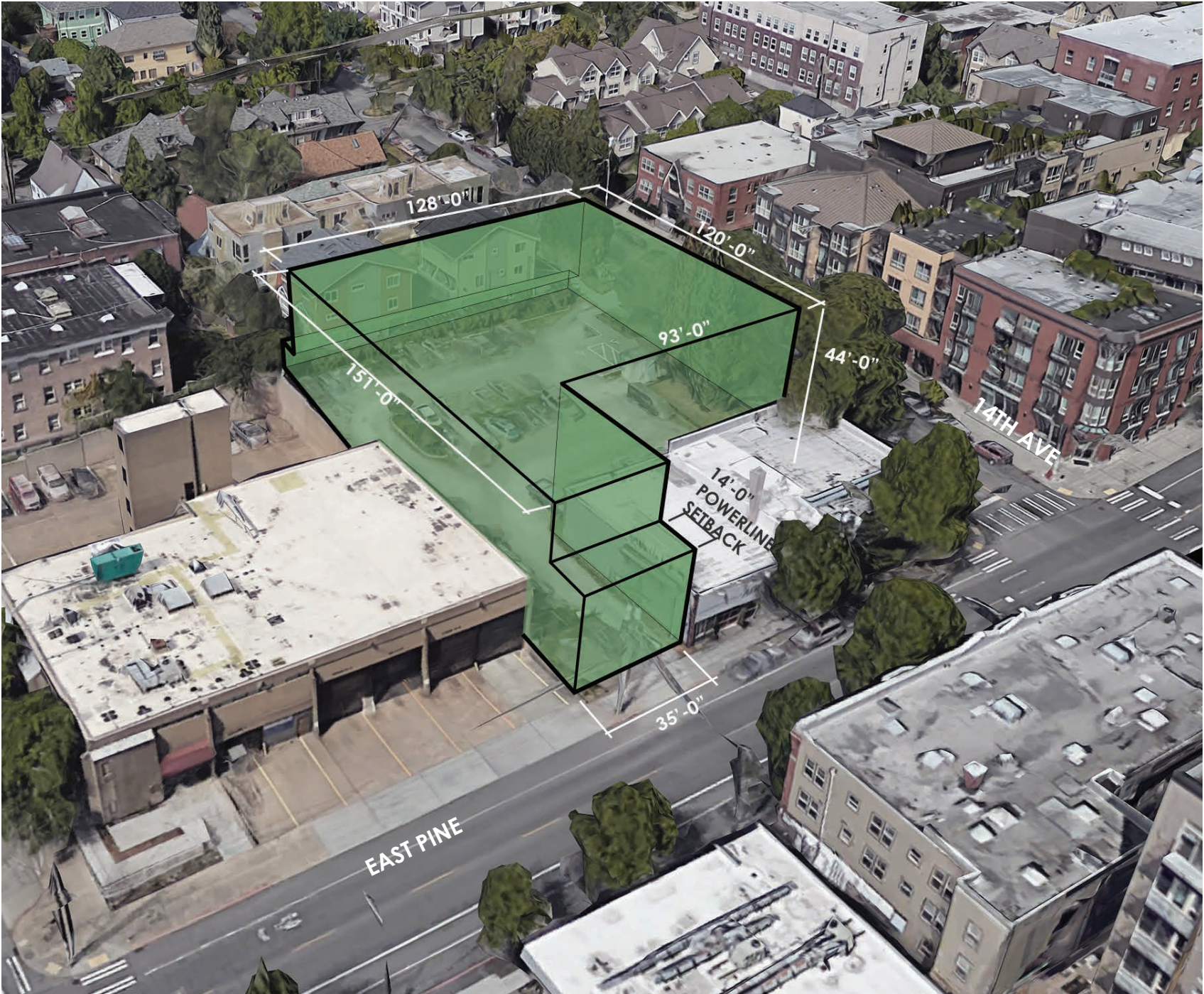


• BRIGHT ACCENTS, ENGAGED SIDEWALK RETAIL EXPERIENCE
• WOOD FACADE, HIGH GLAZED FRONTAGE

ZONING ENVELOPE

SITE ANALYSIS

This graphic illustrates the allowable building envelope for the three parcels. The project is vested under NC3P-40 zoning with a maximum height of 40' above average grade with an additional 4' available when project contains a commercial space with a minimum 13'-0" floor to floor height. The required power line setback along E Pine Street allows the project to provide a 2-story street wall expression to align with adjacent structures before stepping back at the upper level (CS2.II.ii.b – Connection to street).



DEVELOPMENT STANDARDS

Code: Seattle Municipal Code Title 23 Land Use Code
Zone: NC3P-40;
Overlay: Pike/Pine (Urban Center Village); Pike/Pine Conservation District

NEIGHBORHOOD COMMERCIAL (NC) ZONED AREA OF THE PARCEL:

Category	Section	Required	Provided
Permitted Uses, NC zoning:	SMC 23.47A.004	.A Residential & Commercial - Permitted	Residential & Commercial Use (Apartments and Retail)
Street-Level Uses	SMC 23.47A.005	.C Residential uses at street level: .C.1 In all NC and C zones, residential uses may occupy, in the aggregate, nor more than 20 percent of the street-level street-facing façade in the following circumstances or locations: .C.1.a In a pedestrian-designated zone, facing a designated principal pedestrian street	Total residential use at E Pine = 17% < 20% allowed; 14th Ave is not a designated principal pedestrian street. See "Zoning Diagrams" on sheet G-003.
Street-Level Development Standards:	SMC 23.47A.008		Ref Sheet G-004
	A.2.b	Blank segments of the street-facing between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width.	No blank segments exceed 20 feet at either façade.
	A.2.c	The total of all blank façade segments may not exceed 40 percent width of the façade of the structure along the street.	Total blank façade = 20% (E PINE ST), 36% (14TH AVE) < 40% max allowed. See "Zoning Diagrams" on sheet G-003.
	A.3	Street-level street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided	See "Departures" on sheet G-003 for a description of the non-compliant condition along E Pine Street where a portion of the façade is further back from the property line then the 10'-0" requirement.
	B.2.a	Sixty percent of the street-facing façade between 2 feet and 8 feet above the sidewalk shall be transparent.	Street level transparency = 62% (E PINE) > 60% min required. See "Zoning Diagrams" on sheet G-003.
	B.3	Nonresidential uses shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street-level street facing façade.	Average depth = 48'-1"; Min. depth = 40'-2". See "Zoning Diagrams" on sheet G-003.
	B.3.a	Nonresidential uses at street level shall have a floor-to-floor height of at least 13 feet.	Nonresidential uses at the street level have a 18'-4" floor-to-floor height. The Nonresidential use is located along E Pine St. See "Building Sections" on sheets A-300.
	C.4.a	Continuous overhead weather protection is required along at least 60 percent of the street frontage of a structure on a principal pedestrian street	Along E Pine St (a principal pedestrian street), overhead weather protection is provided for 19'-10" of the 32'-10 1/2" façade = 60.3% > 60% min. required.
	C.4.b	The covered area shall have a minimum width of 6 feet, unless there is a conflict with existing or proposed street trees or utility poles, in which case the width may be adjusted to accommodate such features	Overhead weather protection is 6' in width.
	D.2	The floor of a dwelling unit located along the street-level facing façade shall be at least 4 feet above or 4 feet below sidewalk grad or be set back at least 10 feet from the sidewalk.	See "Departures" on sheet G-003 for a description of the non-compliant dwelling unit locations along 14th Ave.
Outdoor activities	SMC 23.47A.011	Table B / Table C Size Limit for Outdoor Display of Rental equipment 15% of lot area or 1,000 sf; Outdoor Storage a maximum of 1,000 square feet at any one location.	There will be no outdoor display of rental equipment or outdoor storage.
Structure Height	SMC 23.47A.012	A. .A.1.a Base height limit = 40'-0" The height of a structure may exceed the otherwise applicable limit by up to 4 feet, subject to subsection 23.47A.012.A.1.c, provided the following conditions are met: 1) A floor-to-floor height of 13 feet or more is provided for nonresidential uses at street level .C.4 Except as provided below, the following rooftop features may extend up to 15 feet above the applicable height limit, as long as the combined total coverage of all features gaining additional height listed in this subsection 23.47A.012.C.4 does not exceed 20 percent of the roof area, or 25 percent of the roof area if the total includes stair or elevator penthouses or screened mechanical equipment: f. Stair and elevator penthouses may extend above the applicable height limit up to 16 feet. .C.6 Greenhouses that are dedicated to food production are permitted to extend 15 feet above the applicable height limit if the combined total coverage of all features gaining additional height listed in this subsection 23.47A.012.C does not exceed 50 percent of the roof area, and the greenhouses adheres to the setback requirements in subsection 23.47A.012.C.7 .C.7 Greenhouses shall be located 10 feet from the north lot line.	Non-residential use at street level floor-to-floor height is 18' - 4". Building height limit: 40' + 4' = 44'-0" above average grade plane. See "Zoning Diagrams" on sheet G-003 for Grade Plane calculation. Stair and elevator penthouses are below 16 ft above height limit. The area of the stair and elevator penthouses is 600 SF / 12,033 SF (total roof area) = 5% < 25% max allowed. The project is proposing Greenhouse on the roof that will be dedicated to food storage and accessed from the roof deck. The structure will be below the max 15' above the applicable height limit. The Greenhouse along with all other rooftop features (parapets, stair and elevator penthouses) have a total area of 1,237 SF = 10% of the total roof area. The Greenhouse is located 24'-9" from the north lot line.
Floor Area Ratio:	SMC 23.47A.013	Table A 3. Total permitted for all uses within a mixed- use structure containing residential and non-residential uses. Maximum FAR limit for 40' height limit = 3.25 .D.2 The following gross floor area is not counted toward FAR: All portions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, excluding access; .D.6 Rooftop greenhouse areas meeting the standard of 23.47A.012.C.6 and 23.47A.012.C.7	Site area 17,460 SF X FAR limit 3.25 = Allowable SF 56,745 SF. Total non-exempt area of building is 50,877 SF. See "Building Area/FAR Calculations" on G-003. All portions of Level P1 whose ceiling extend no more than 4 feet above existing or finished grade were exempt from the total FAR calculation. See "Floor Area Ratio Diagrams" on sheet G-003a. The Greenhouse has been exempted from the FAR calculations.
Setback Requirements	SMC 23.47A.014	.B.1 A setback is required where a lot abuts the intersection of a side lot line and front lot line of a lot in a residential zone. The required setback forms a triangular area. Two sides of the triangle extend along the street lot line and side lot line 15 feet from the intersection of the residentially zoned lot's front lot line and the side lot line abutting the residentially zoned lot. .B.3 For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone, as follows: a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet; and b. For each portion of a structure above 40 feet in height, additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet	Structure satisfies requirement. The building structure does not encroach up the 15' x 15' triangular area at the north edge of our property along 14th Ave. See "Site Plan" on sheet A-090. See "Departures" on sheet G-003 for a description of the non-compliant setback along the lower part of the North façade. The first level encroaches into the 13'-0" height limit. See "Departures" on sheet G-003 for a description of the non-compliant setback along the upper portion of the North façade along the north property line.
Landscaping and screen standards:	SMC 23.47A.016	.A.2 Landscaping that achieves a Green Factor score of .30 or greater, pursuant to Section 23.86.019, is required for any lot with: a. development containing more than four new dwelling units.	Development will achieve a .30 minimum Green Factor. See sheet L-102 for diagram and calculations.

SEATTLE MUNICIPAL CODE TITLE 23 LAND USE CODE
ZONE: NC3P-40 (AS CURRENTLY VESTED)
PIKE/PINE URBAN CENTER VILLAGE; PIKE/PINE CONSERVATION DISTRICT

Amenity Area	SMC 23.47A.024	.A	Amenity areas are required in an amount equal to 5 percent of the total gross floor area in residential use, except as otherwise specifically provided in this Chapter 23.47A. Gross floor area, for the purposes of this subsection, excludes areas used for mechanical equipment and accessory parking. Total Gross Floor Area in Residential Use = 48,145 SF x 5%= 2,407 SF min. Amenity Area.	Amenity Area = 5,392 SF > 2,562 SF min. requirement. See "Amenity Space Calculation" on sheet G-003.
Required Parking:	SMC 23.54.015	Table A	I. Nonresidential uses in urban centers = No minimum parking requirement	Development is located in Pike/Pine Urban Center and within the "Parking Flexibility Area". Project provides 28 total stalls, including one Van accessible stall.
		Table B	L. Residential uses in commercial and multifamily zones with urban centers = No minimum parking requirement	No parking is provided for commercial.
		Table D	D.2. Multifamily Structures 1 long-term bicycle space per every 1 unit, short-term 1 per 20 units.	Project will provide a minimum of 72 long-term bicycle stalls for 79 residential units for Residential Use in a secure room on Level P1.
		footnote 3	For residential use, after the first 50 spaces for bicycle are provided, additional spaces are required at three-quarters the ratio.	Furthermore, 4 short-term bicycle stalls will be provided in a paved area adjacent to the garage entry along 14th Ave.
		Table D	Sales and services, general: Long-term: 1 per 4,000 SF, Short-term: 1 per 2,000 SF.	For the future commercial tenant along E Pine St. the project will provide a minimum of 1 long-term bicycle parking stall in the secured parking on Level P1. A min. of 1 SDOT approved short-term stalls will be located in the right-of-way in front of the building.
Parking space standards:	SMC 23.54.030	.B.1	Residential Uses: 60% medium parking spaces; 40% any size parking spaces	18 Medium parking spaces provided vs. 28 total parking stalls. 18/28 = 64% > 60% min. required.
		.B.2	Nonresidential Use parking requirements.	Nonresidential parking will not be provided.
		.D.1.a	Driveways less than 100 feet in length that serve 30 or fewer parking spaces shall be a minimum 10 feet in width for one-way or two-way traffic	Driveway provided is 58.5 ft feet in length and is 11 feet wide.
		.D.3	Driveway slope for all uses. No portion of a driveway, whether located on a lot or on a right-of- way, shall exceed a slope of 15 percent, except as provided in this subsection 23.54.030.D.3. The maximum 15 percent slope shall apply in relation to both the current grade of the right-of-way to which the driveway connects, and to the proposed finished grade of the right-of-way if it is different from the current grade. The ends of a driveway shall be adjusted to accommodate an appropriate crest and sag. The Director may permit a driveway slope of more than 15 percent if it is found that:	The development is proposing a Type 1 decision to exceed the required 15% slope. Due to site constraints a 20% slope is proposed with appropriate crest and sag. See sheet G-003 for detailed explanation along with companion diagrams on how the project meets the criteria for approval.
		.a	The topography or other special characteristic of the lot makes a 15 percent maximum driveway slope infeasible;	Drive is located on 14th ave, with appropriate distance from residential zone at the north end of the site. Entering from Pine St. not possible.
		.b	The additional amount of slope permitted is the least amount necessary to accommodate the conditions of the lot; and	With appropriate crest and sag to ensure useability of ramp, 20% is the minimum slope of the main portion of ramp to clear structure above.
		.c	The driveway is still useable as access to the lot.	Ramp matches or is shallower than previously SDOT/CSDI permitted examples.
		.G.1	For exit-only driveways and easements, and two way driveways and easements less than 22 feet wide, a sight triangle on both sides of the driveway or easement shall be provided, and shall be kept clear of any obstruction for a distance of 10 feet from the intersection of the driveway or easement with a driveway, easement, sidewalk or curb intersection if there is no sidewalk	Sight triangles are provided on both sides of the driveway at the sidewalk edge. See "Site Plan" on sheet A-090.
Loading berth requirements	SMC 23.54.035	Table A	Medium Demand ("Retail Sales"): Less than 10,000 SF commercial does not require a loading berth.	The total proposed Commercial Area is 1,804 SF < 10,000 SF min. required for a Loading Berth.
Solid waste and recyclable materials storage and access:	SMC 23.54.040	Table A	Shared Storage Space for Waste Containers for 51-100 dwelling units = 375 square feet + 112 SF (4 square feet for 30 units) + 41 (50% of non-residential requirement of 82 SF) = 536 SF	An aggregate area of 680 SF has been provided for Waste Containers on the property in the below-grade parking garage. We have received direction and conditional approval of a SPU waste program including the container storage and the staging of containers in restricted parking stalls on 14th Avenue for weekly pick-ups; see G-003b.
Pike/Pine Overlay District - Street-level Uses	SMC 23.73.008	Table A	Total amount of square feet in commercial use at street level as calculated in subsection 23.73.008; Up to 5,000 square feet (project has 1,804 SF of commercial space).	Zero required commercial spaces for individual business establishments averaging 2,000 square feet or less in size.
		.C	50'-0" is the maximum length of street frontage for an individual business along Pine Street.	27'-2" is the maximum frontage for an individual business.
Pike/Pine Overlay District - Floor Area Ratio	SMC 23.73.009	A.	For lots that include both residential and non-residential uses, the FAR limits in Section 23.47A.013 for the underlying zone apply	Project subscribes to the FAR limit as defined in Section 23.47A.013
		B.	Non-residential uses are limited to a maximum of 2 FAR	The project commercial uses have an FAR of 1,710 SF commercial / 17,460 SF site area = 0.10 FAR < 2 FAR max.
Floor area limits outside of the Conservation Core	SMC 23.73.010	A.	Floor area limit: max gross floor area of any single story above 35 feet in height is limited to 15,000 square feet	A portion of Level 4 resides over 35 feet in height; GFA for Level 4 is 12,033 square feet < 15,000sf. Compliant.
Structure width and depth limits outside of the Conservation Core	SMC 23.73.012	A.	Width limit for all portions of a structure that abut... Pine...shall be limited to 50% of the total width of all lots on the block front, measured along street line.	Width of portion of structure that abuts Pine St: 30'-10" / 255'-2" (Total width of all lots on block face)= 12% Compliant. There are no depth limits listed outside the Conservation Core.
Definitions:	SMC 23.84A	.014	"Gross floor area" means the number of square feet to total floor area bounded by the inside surface of the exterior wall of the structure as measured at the floor line.	

1320 E PINE

RECOMMENDATION RESPONSE SUMMARY

ARCHITECTURAL CONCEPT, MASSING & MATERIALS

While the overall massing remains consistent with the Board-supported option from the Early Design Guidance meeting, additional exploration was focused on how to strengthen the ‘stacked box’ concept through development of construction detailing and using a limited palette of materials to maintain a consistency of expression.

PINE ST. FACADE

Based on guidance from the Board, we extended the Pine St. expression to two-stories to increase the building presence along the street. In addition, the retail is now a double-height space with a mezzanine in the back to add greater volume and establish a taller street presence. Also, as requested, we carried the ‘stacked-box’ concept to Pine St. while ensuring the facade still had a “unique and special expression” as the Board recommended.

14TH AVE. WALK-UP UNITS

The Board supported the concept of individual unit entries along 14th Ave but wanted further development to determine the proper overhang depth as well as provide further development of the stairs, stoops, and entries to make them more individualized. After careful studied, we revised the distance of the ground floor facaded from the sidewalk in a manner that creates a balance of privacy, access to light, and the appropriate level activation of residential units.

WEST PARTY WALL FACADE

As the Board requested, was have carried the the ‘stacked-box’ concept to the west party wall to read conceptually consistent with the rest of the building.

NORTH COTTAGE GROUND FLOOR EXPRESSION

The Board appreciated the concept of the ground-level cottage expression along the north property line. As requested by the Board, we have shown a more detailed programming of the patios and the visual relationship to 14th Ave.

SECONDARY GROUND LEVEL PROGRAMMING DEVELOPMENT

We have provided further detail on garage access, bike room location, and staging for garbage on collection days.



VIEW FROM 14TH STREET LOOKING NORTHWEST

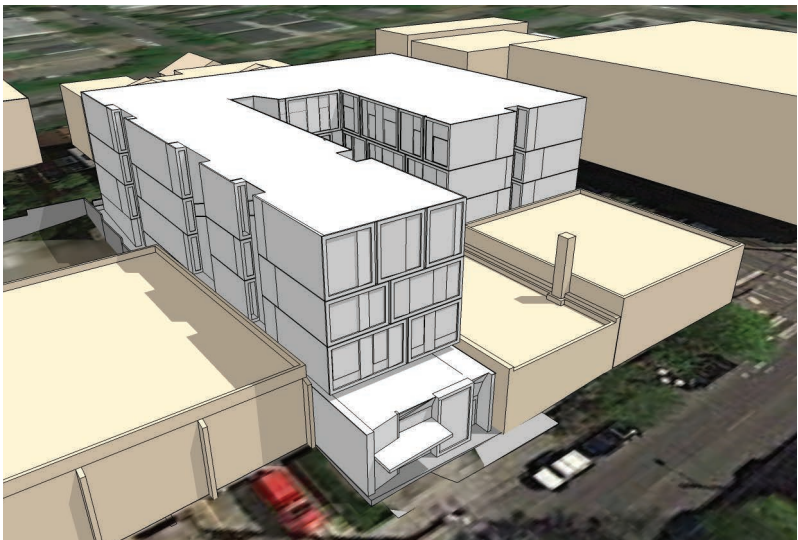
APPROVED EDG DESIGN



MASSING STUDY (VIEW FROM SOUTH EAST)

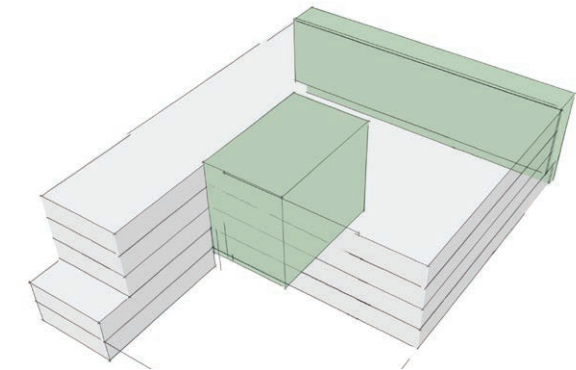


MASSING STUDY (VIEW FROM NORTH EAST)



The preferred scheme provides the most balanced option for siting the project. Several taut bars, located above a ground floor comprised of urban scale elements, wrap a well-scaled internal court, while breaking down the overall mass into several well-rendered components. These floating 'bars' are in turn composed of a repeating pattern of rectilinear cubic volumes, which reference the scale of the units within. These unit-scale cubic 'blocks' provide the opportunity to wrap this expression onto the party walls, imbuing them with a visual interest as a secondary expression of the 'box' identity.

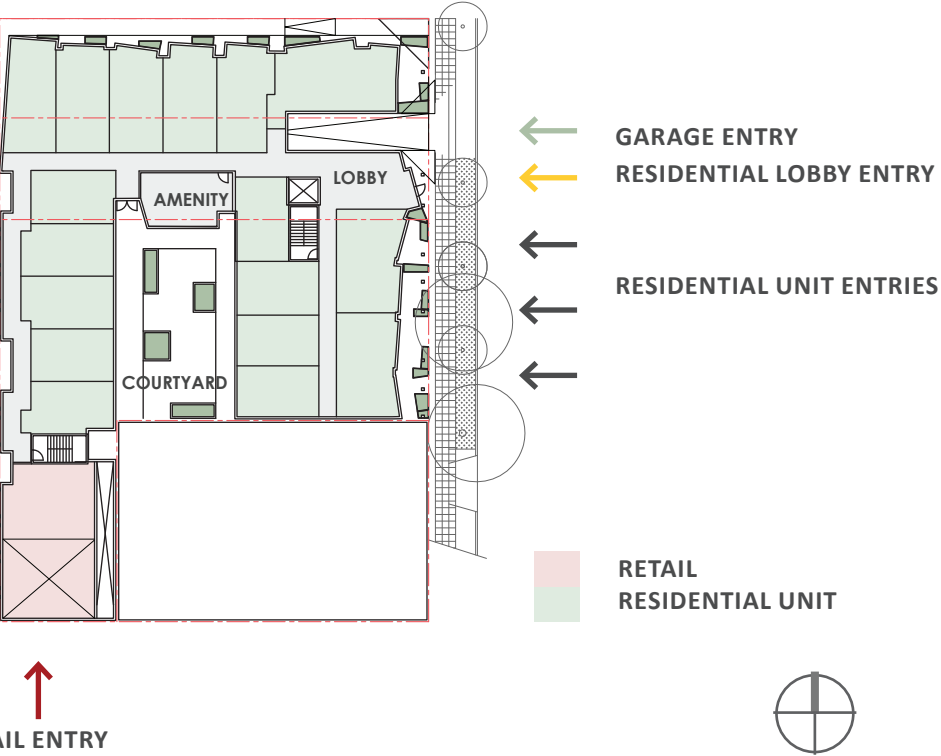
Outdoor roof deck space fronts a large central courtyard, while harnessing abundant city views to the West. Retail comprises the bottom double height expression of the E Pine St facade on the ground floor. The lobby is located along 14th Ave adjacent to drive ramp. A small 'village' of 5 units plus a bike storage space emerge from beneath the mass 'bar' on the north edge of the project, presenting an alternate scale and manicured outdoor access path adjacent to neighboring residential projects.



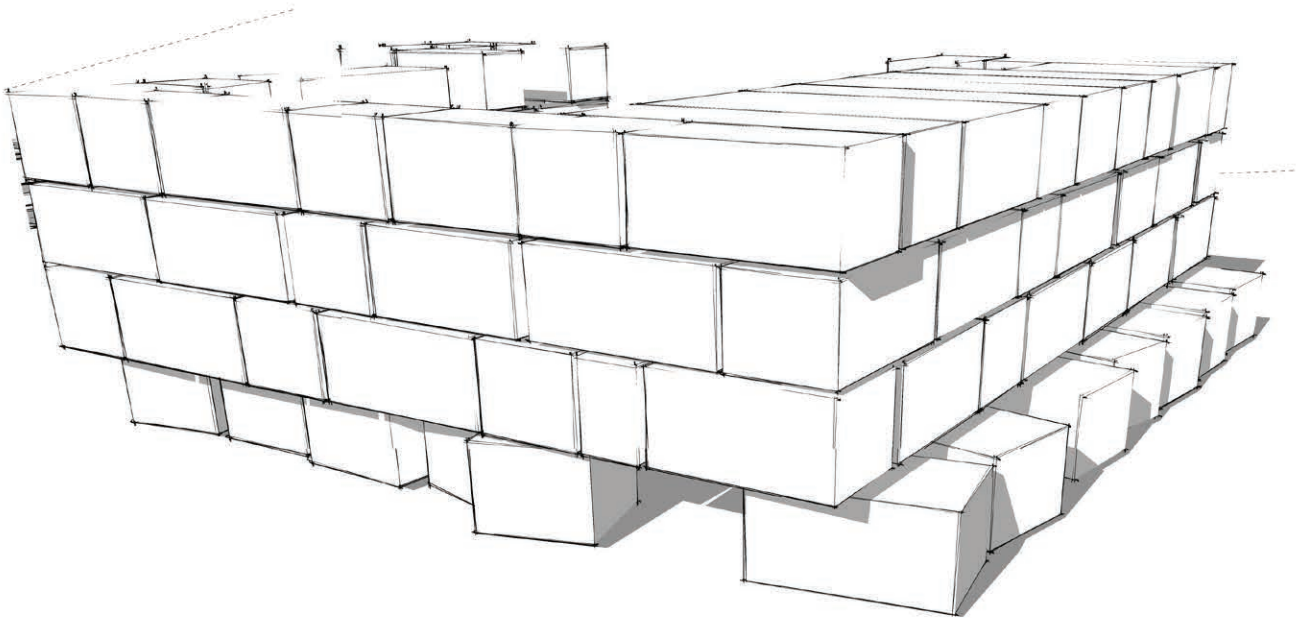
PREFERRED SCHEME
OPEN SPACE DIAGRM

Our Preferred Scheme utilizes outdoor space to organize the major building elements about its axis. Each of the three 'bar' sections wrap from E Pine St Northward, across to 14th Ave, finally resolving in an elevated collection of 'boxes' that float above a 10' residential setback, giving it 5 'edges' to lend it form, heft, and a presence in the spatial fabric of the neighborhood.

OPEN SPACE VOLUME

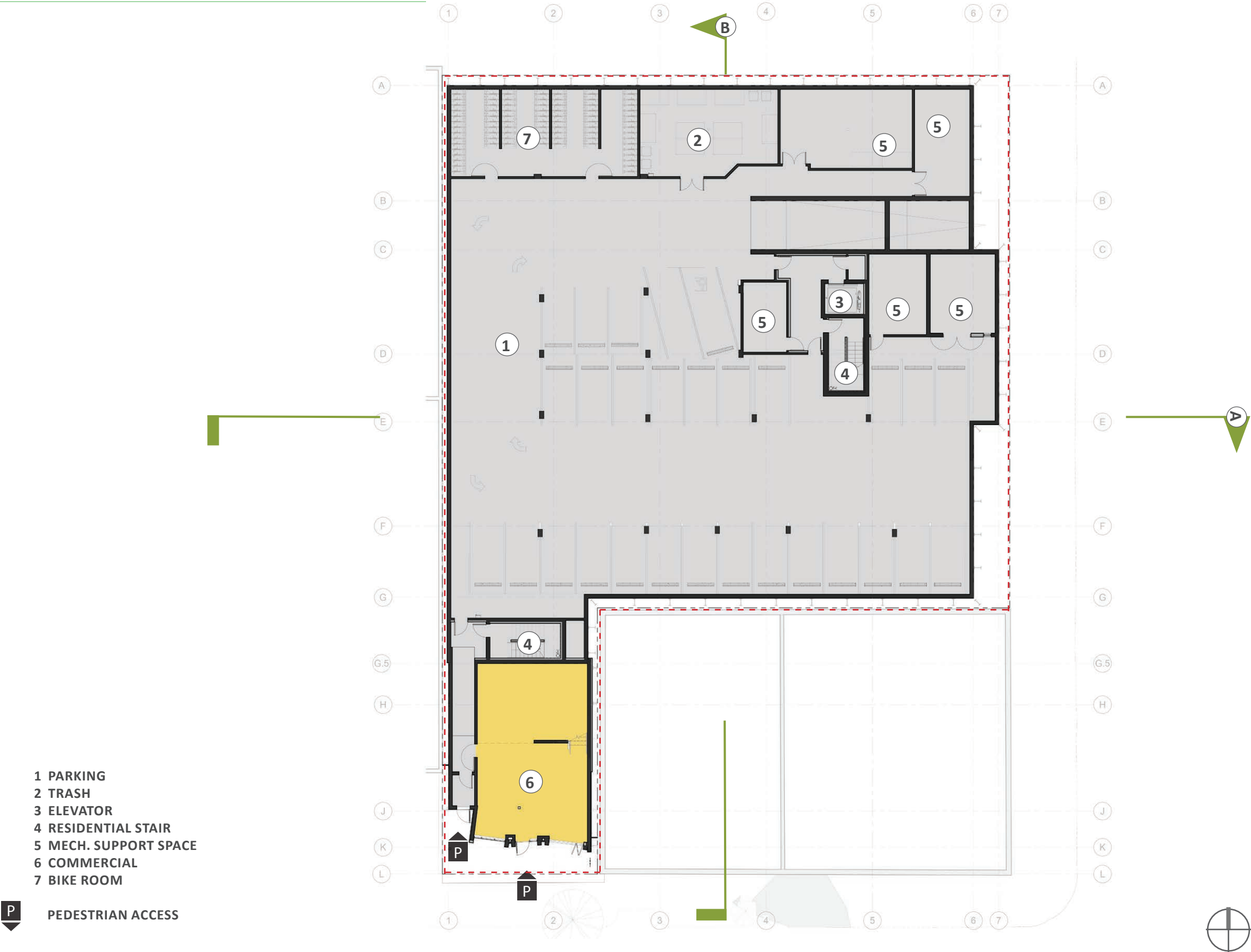


RETAIL ENTRY



'STACKED-BOX' CONCEPT
PRESENTED AT THE EDG MEETING

FLOOR PLAN - LEVEL P1 (RETAIL ENTRY LEVEL ON PINE ST.)



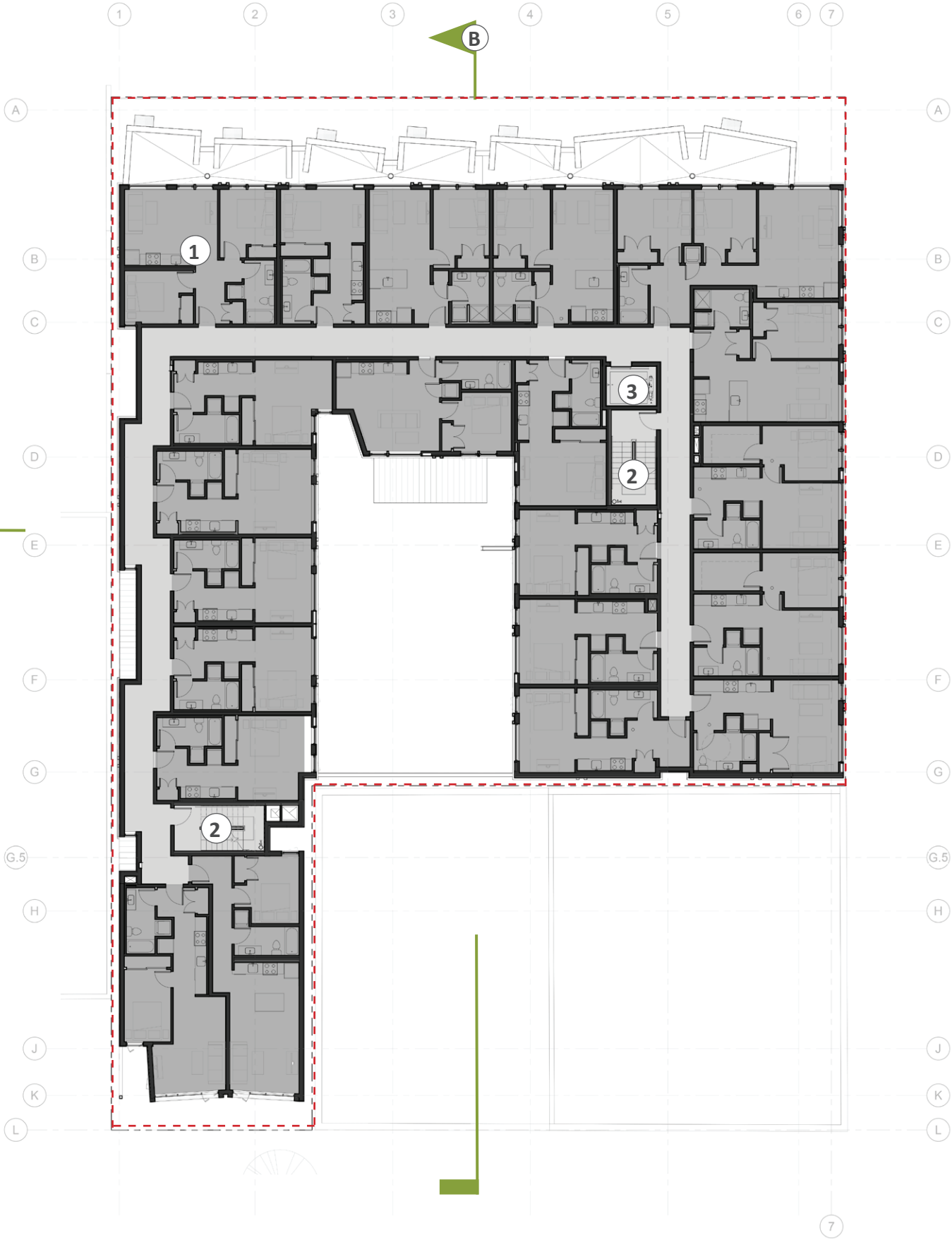
FLOOR PLAN - LEVEL 1 (ENTRY LEVEL ON 14TH AVE)



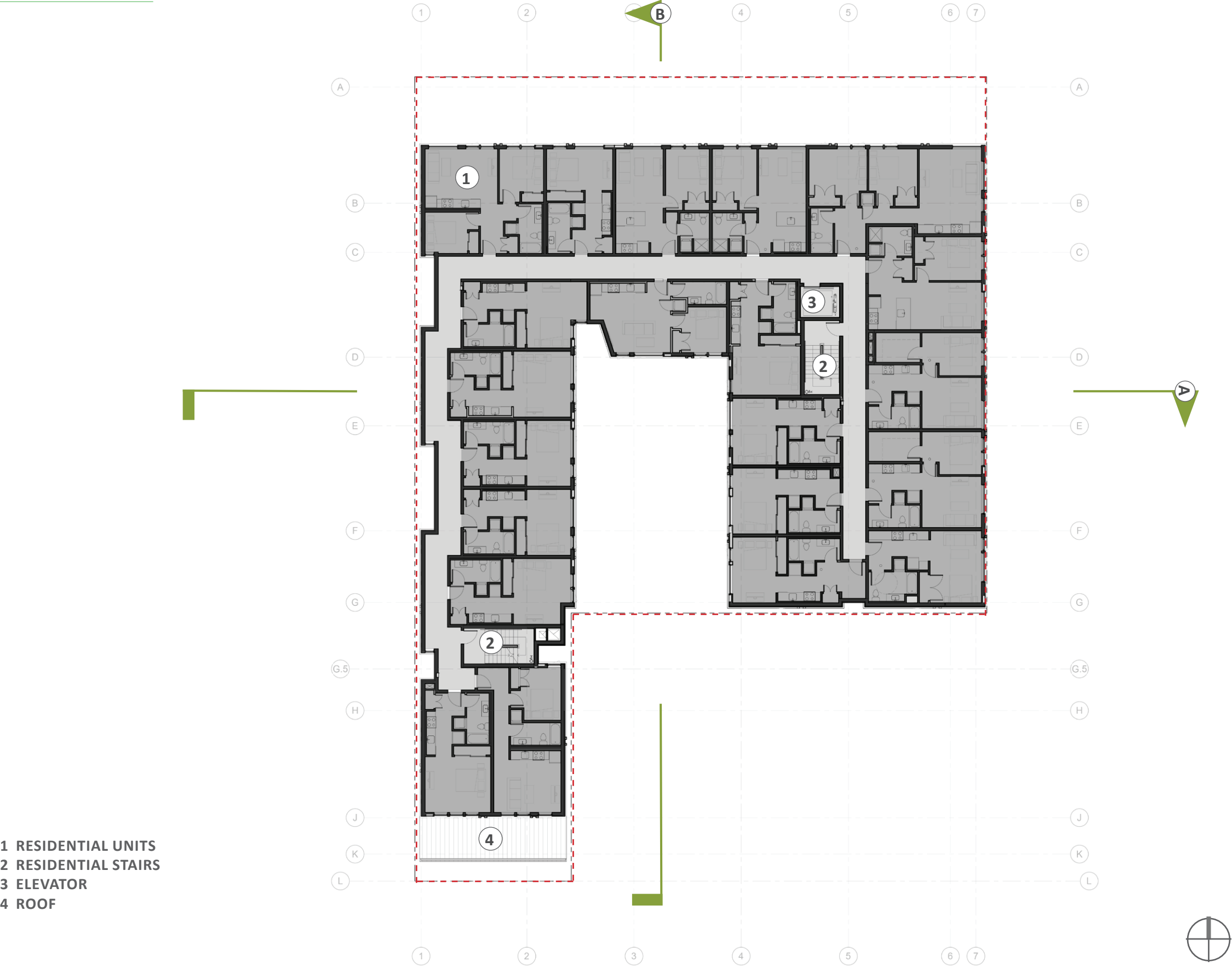
1320 E PINE

FLOOR PLAN - LEVEL 2

- 1 RESIDENTIAL UNITS
- 2 RESIDENTIAL STAIRS
- 3 ELEVATOR



FLOOR PLAN - LEVEL 3

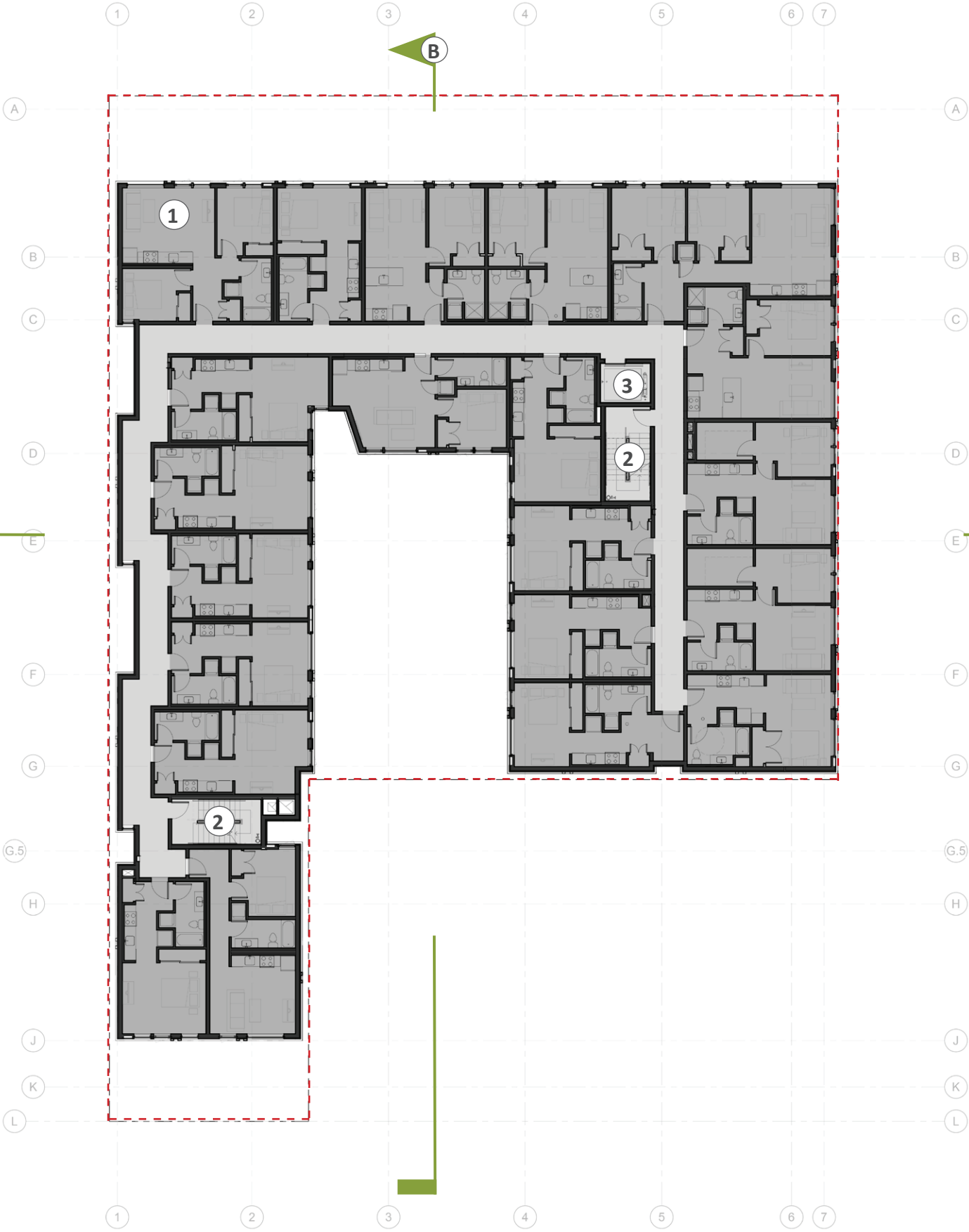


1320 E PINE



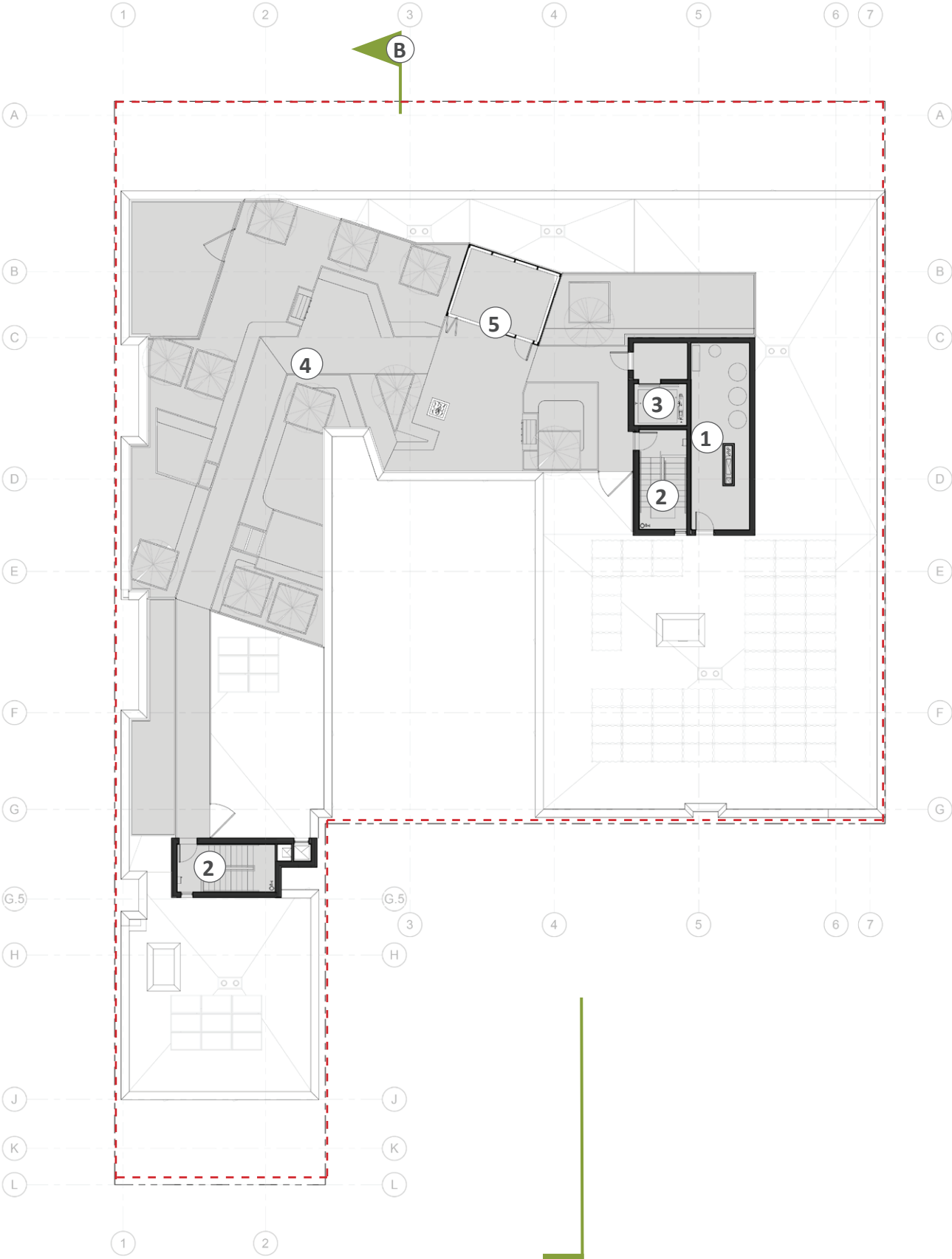
FLOOR PLAN - LEVEL 4

- 1 RESIDENTIAL UNITS
- 2 RESIDENTIAL STAIRS
- 3 ELEVATOR



ROOF PLAN

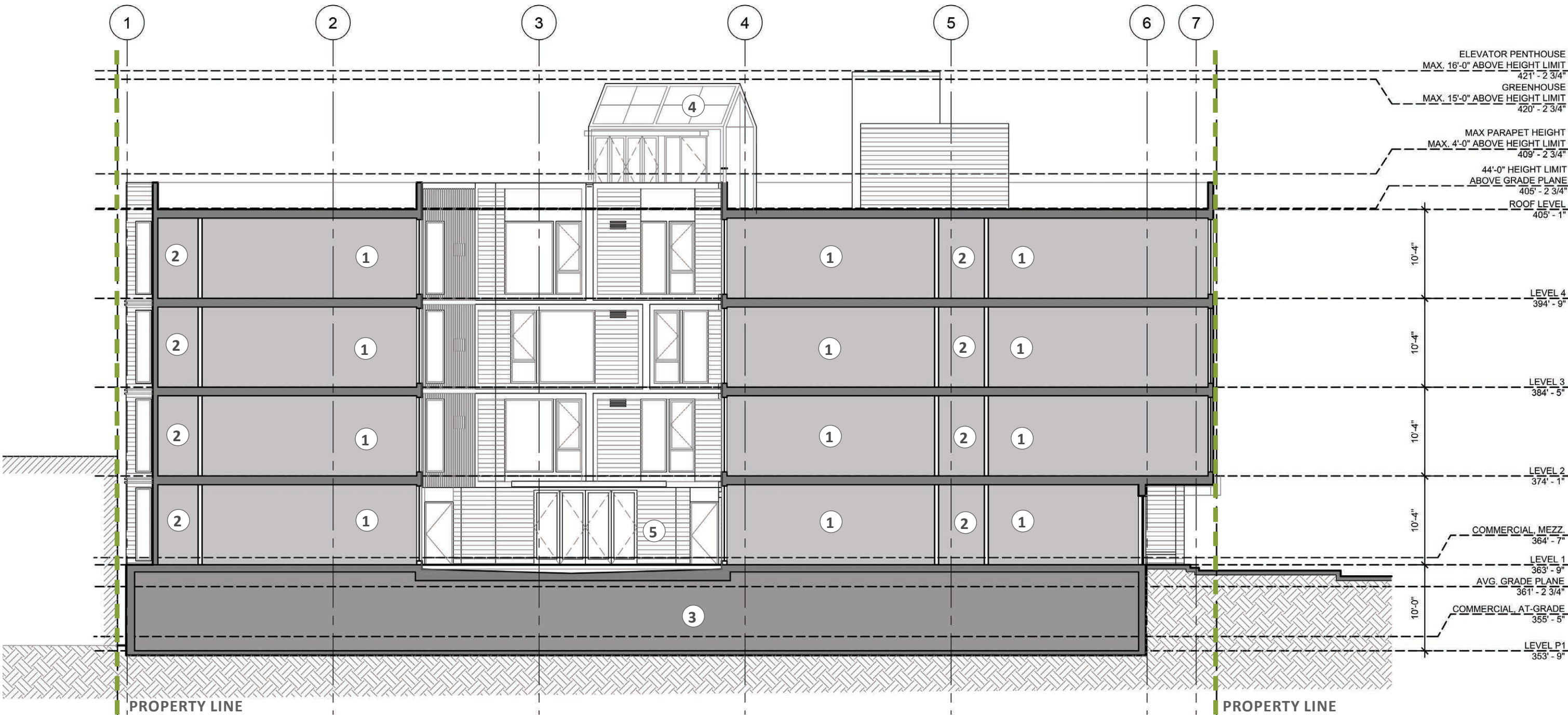
- 1 BOILER PENTHOUSE
- 2 RESIDENTIAL STAIRS
- 3 ELEVATOR
- 4 ROOF DECK
- 5 GREENHOUSE



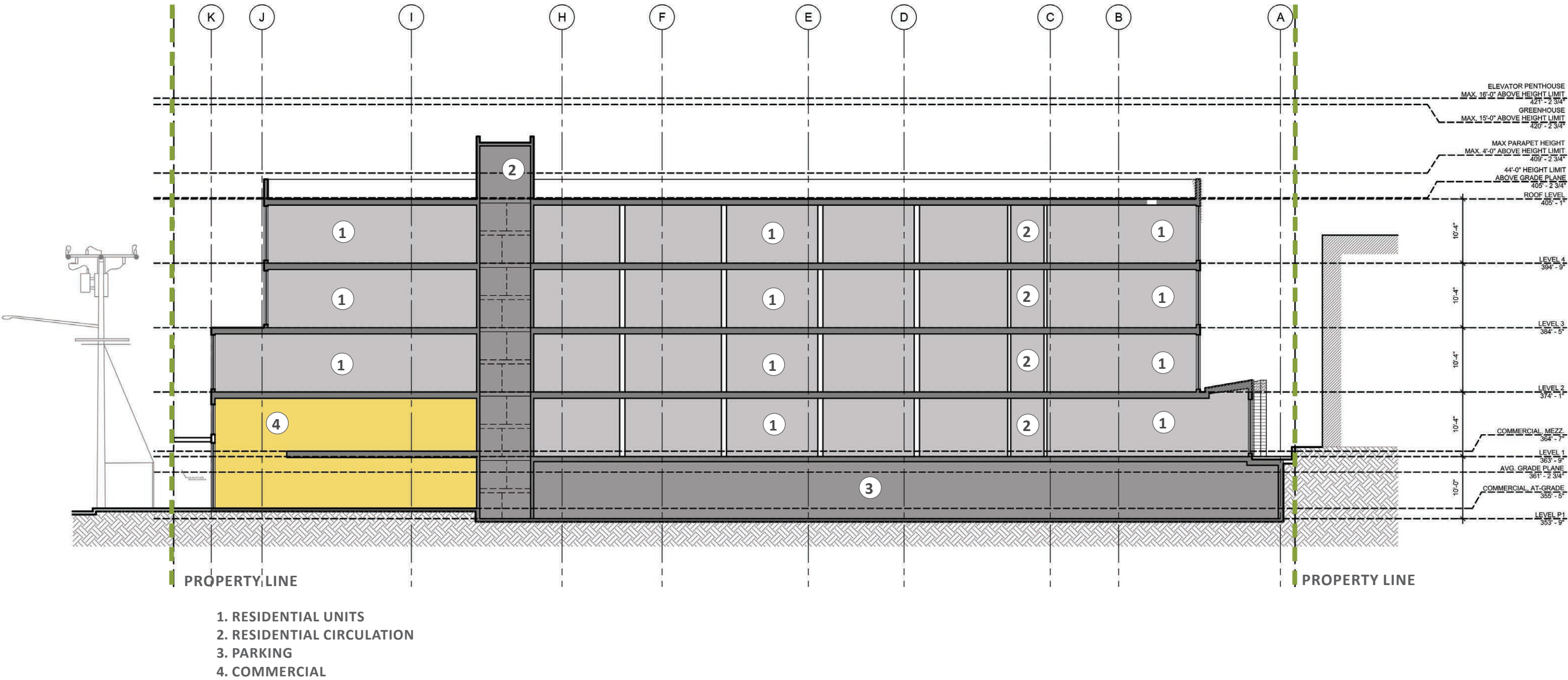
1320 E PINE



EAST/ WEST SITE SECTION “A”



NORTH/SOUTH SITE SECTION "B"



1320 E PINE

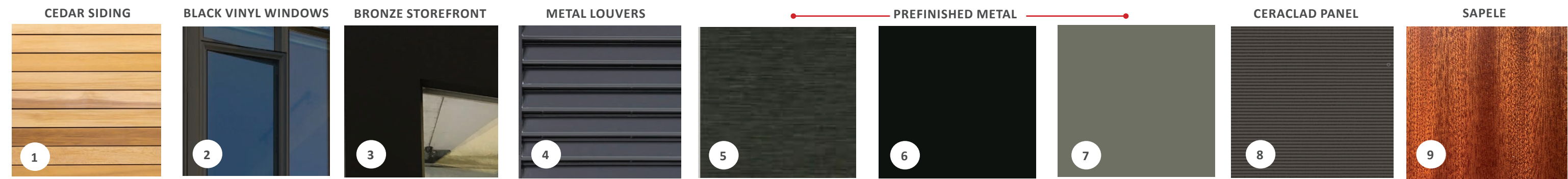
EAST ELEVATION



(SEE PAGES 29 FOR MATERIAL KEY)



SOUTH ELEVATION

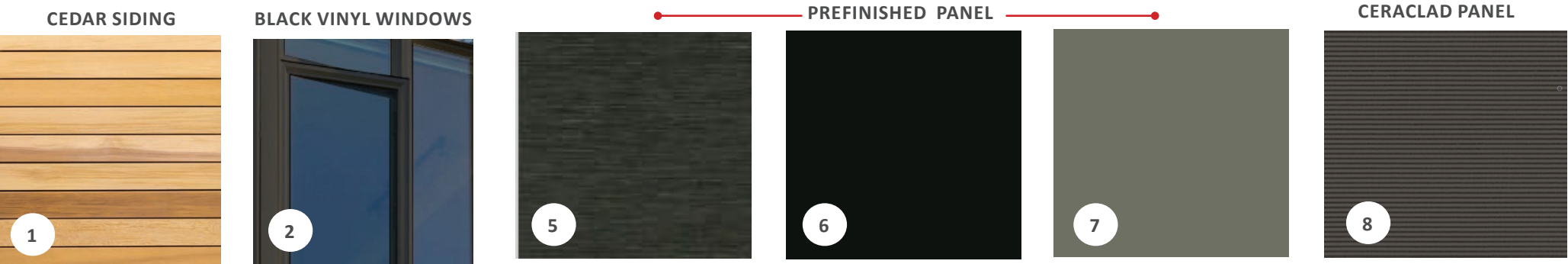


(SEE PAGES 29 FOR MATERIAL KEY)

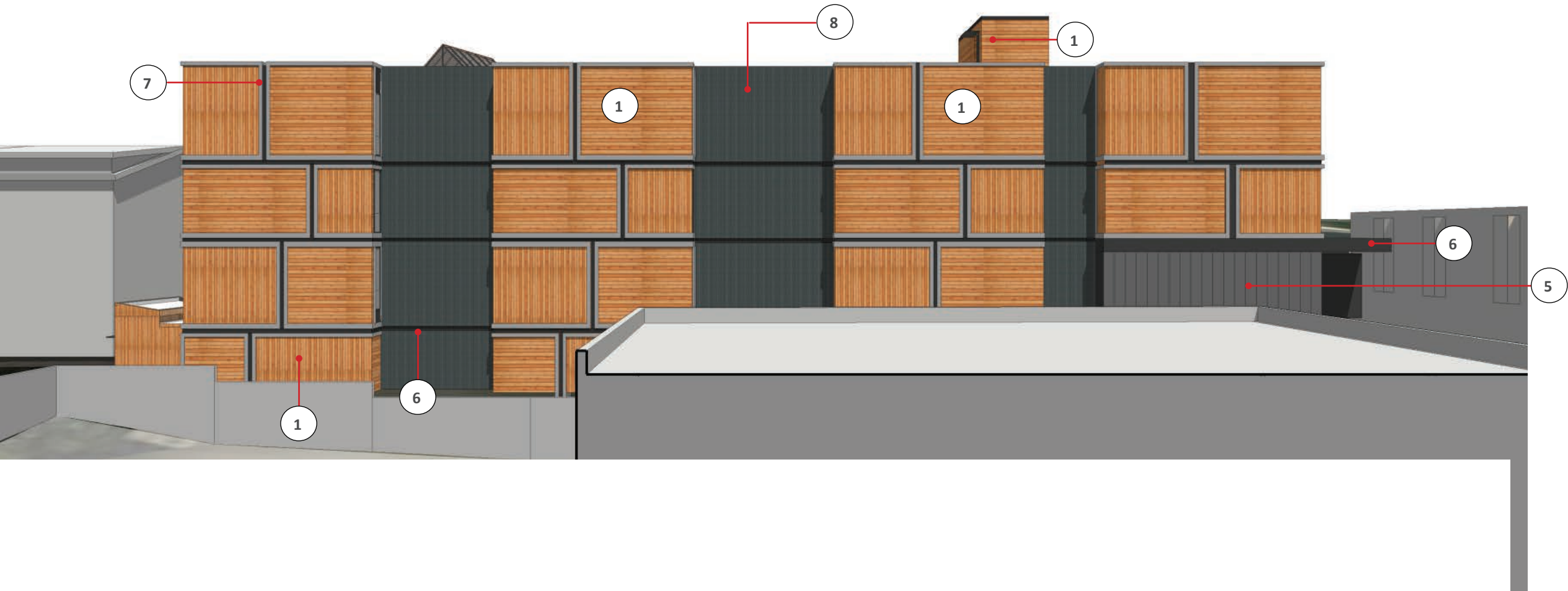


1320 E PINE

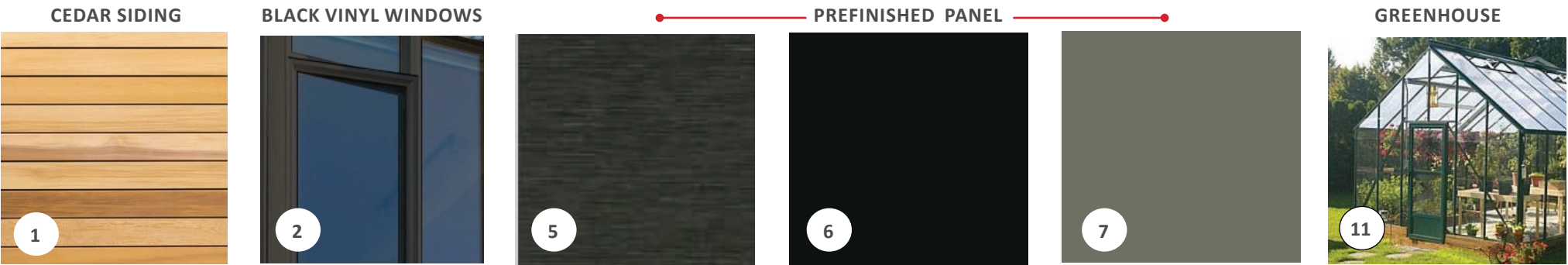
WEST ELEVATION



(SEE PAGE 29 FOR MATERIAL KEY)



NORTH ELEVATION



(SEE PAGES 29 FOR MATERIAL KEY)



WEST COURTYARD ELEVATION

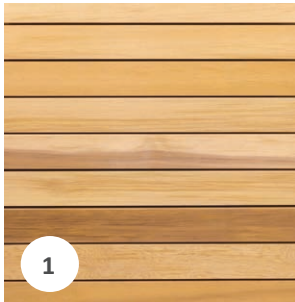


(SEE PAGES 29 FOR MATERIAL KEY)



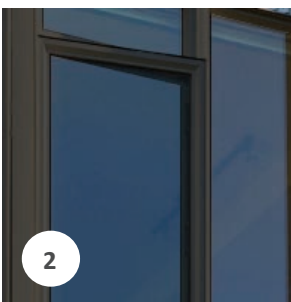
SOUTH COURTYARD ELEVATION

CEDAR SIDING




1

BLACK VINYL WINDOWS

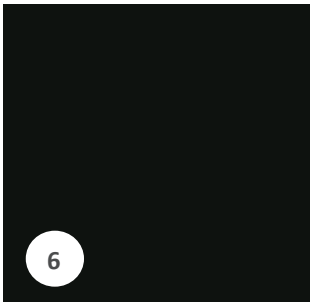


2


PREFINISHED PANEL



5

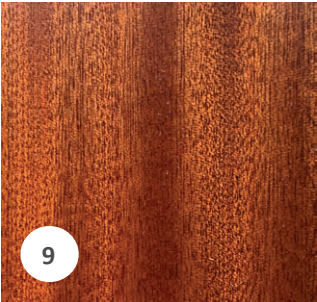


6




7

SAPELE



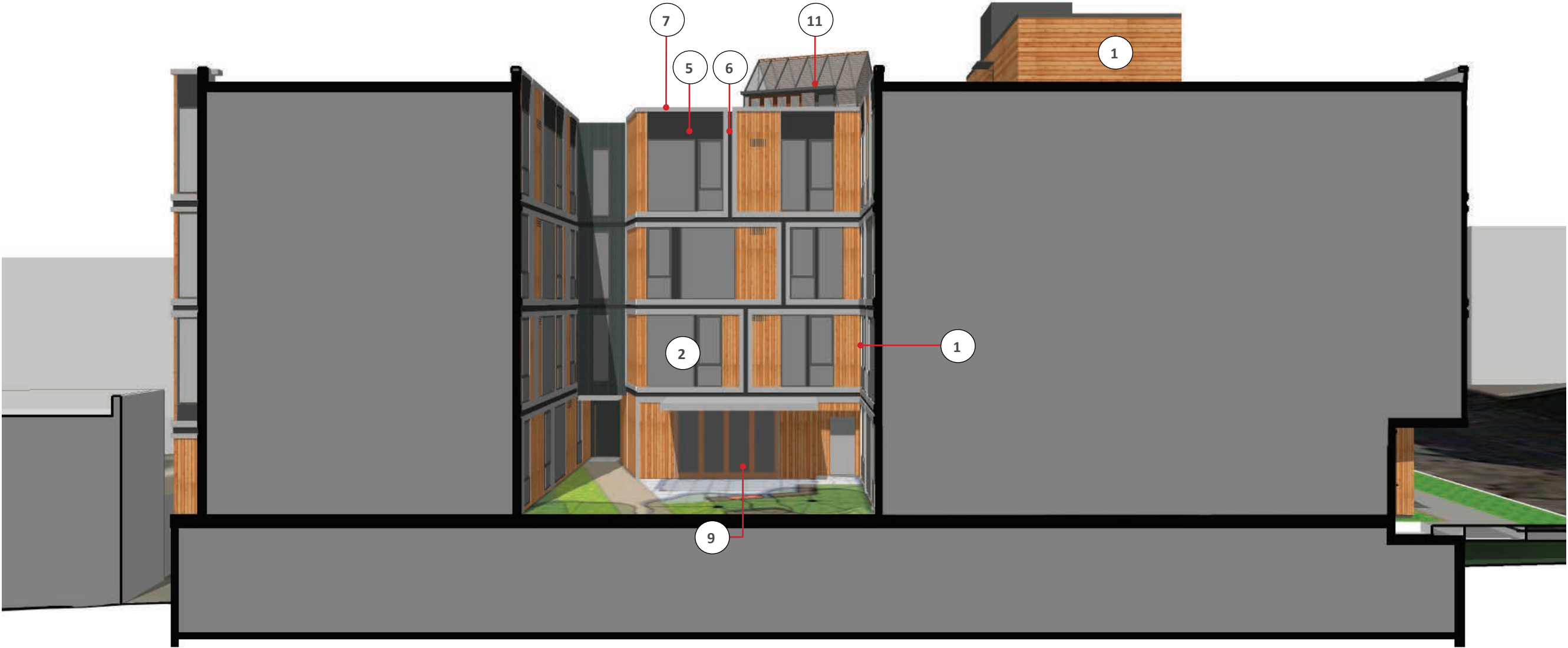
9

GREENHOUSE



11

(SEE PAGE 29 FOR MATERIAL KEY)



EAST COURTYARD ELEVATION



(SEE PAGE 29 FOR MATERIAL KEY)



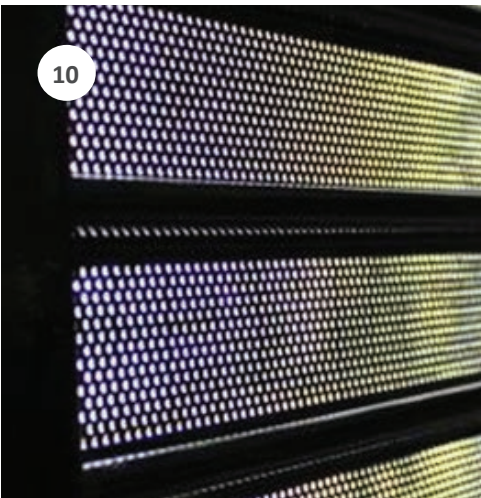
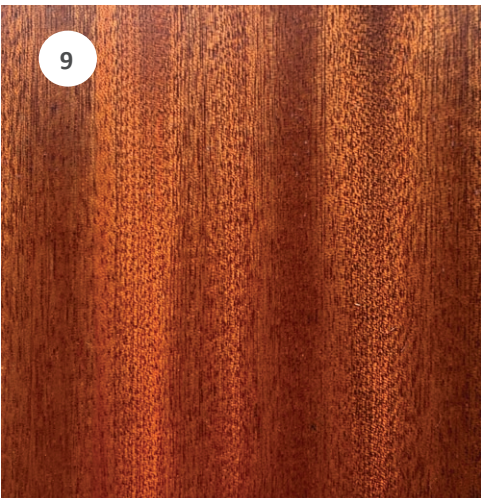
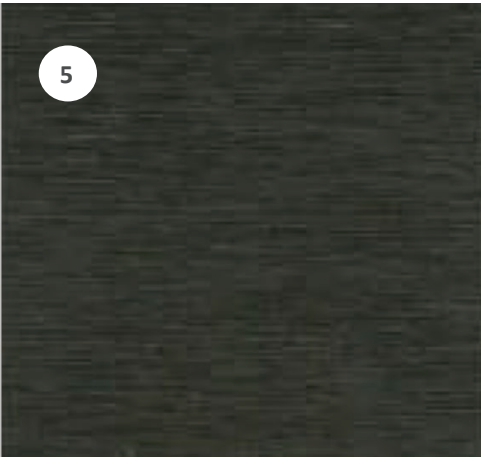
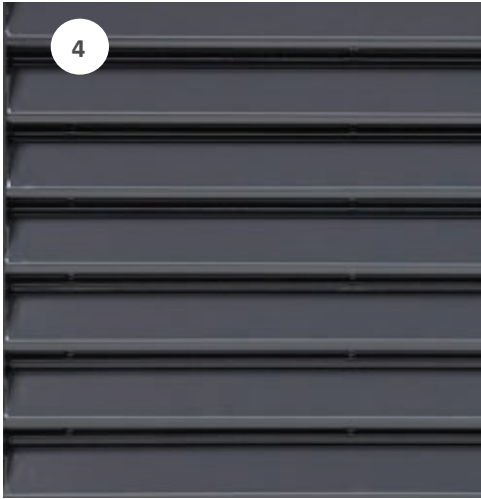
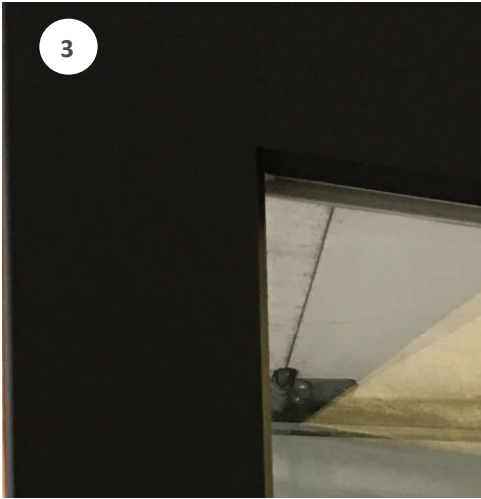
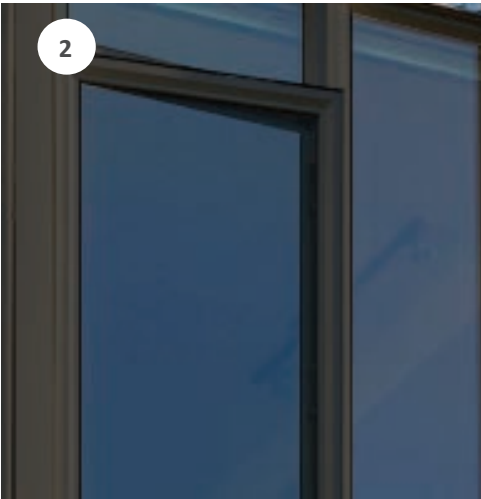
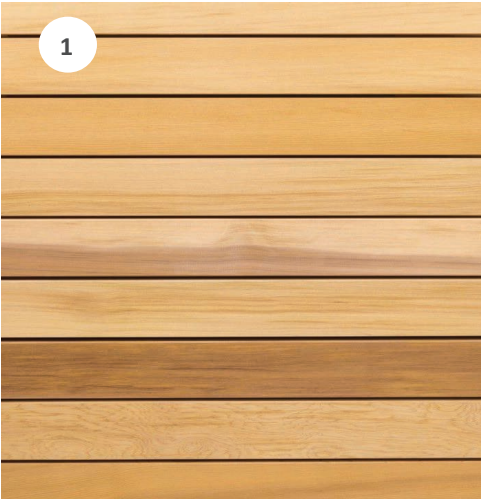
VIEW FROM PINE ST. LOOKING NORTH



1320 E PINE



MATERIALS PALETTE



- 1. CLEAR FINISHED CEDAR PLANKS - 1X6 GENERAL, 1X4 AT GROUND FLOOR
- 2. BLACK VINYL WINDOW SYSTEM
- 3. ARCHITECTURAL BRONZE STOREFRONT
- 4. BLACK METAL LOUVER
- 5. METAL - BRYER COMPANY, NATURAL FX COATING 'COAL CREEK'
- 6. METAL - BRYER COMPANY, LG MATTE BLACK
- 7. METAL - BRYER COMPANY, SLATE GRAY
- 8. TEXTURED RAINSCREEN PANEL - CERACLAD, ZEN GARDEN PATTERN, CHARCCOAL
- 9. SLIDE-AND-FOLD EXTERIOR WOOD DOORS, SAPELE WOOD - QUANTUM
- 10. METAL GARAGE DOOR
- 11. GREENHOUSE

SOURCES:
BRYER COMPANY (WWW.THEBRYERCOMPANY.COM)
CERACLAD (WWW.CERACLAD.COM)
QUANTUM WINDOWS (WWW.QUANTUMWINDOWS.COM)

MATERIALS BOARD



- 1. CLEAR FINISHED CEDAR PLANKS - 1X6 GENERAL, 1X4 AT GROUND FLOOR
- 2. BLACK VINYL WINDOW SYSTEM
- 3. ARCHITECTURAL BRONZE STOREFRONT
- 4. METAL LOUVER - FINISH TO MATCH #6
- 5. METAL PANEL - BRYER COMPANY, NATURAL FX COATING 'COAL CREEK'
- 6. METAL PANEL - BRYER COMPANY, LG MATTE BLACK
- 7. METAL PANEL - BRYER COMPANY, SLATE GRAY
- 8. TEXTURED RAINSCREEN PANEL - CERACLAD, ZEN GARDEN PATTERN, CHARCCOAL
- 9. SLIDE-AND-FOLD EXTERIOR WOOD DOORS, SAPELE WOOD - QUANTUM

SOURCES:
BRYER COMPANY (WWW.THEBRYERCOMPANY.COM)
CERACLAD (WWW.CERACLAD.COM)
QUANTUM WINDOWS (WWW.QUANTUMWINDOWS.COM)

MATERIALS PALETTE - INSTALLATIONS

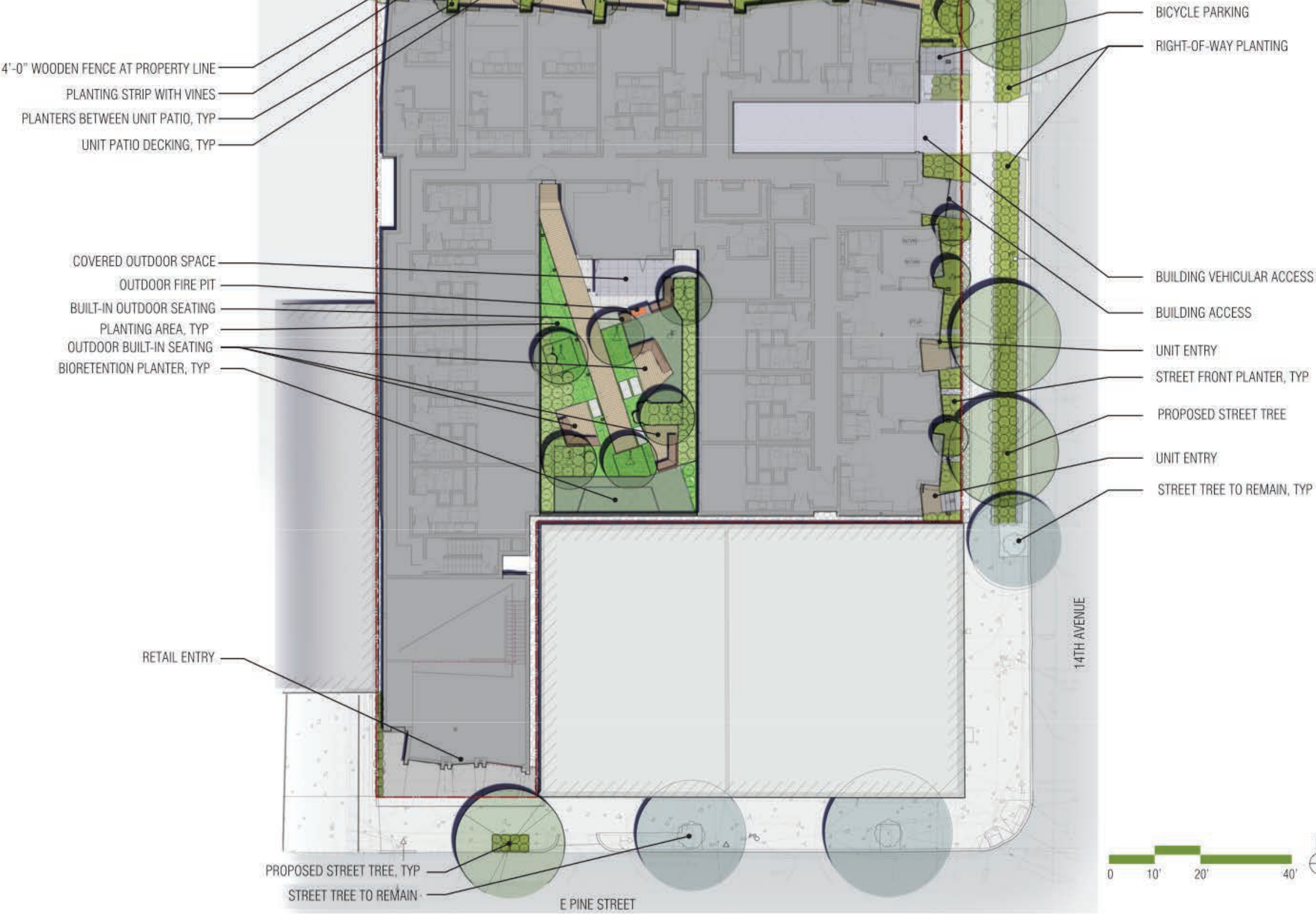


- 1. CERACLAD RAINSCREEN PANEL INSTALL
- 2. CEDAR SIDING WITH EXPRESSED METAL WINDOW BOX
- 3./4. SAPELE SLIDE-AND-FOLD DOOR W/ DARK BRONZE STOREFRONT & CEDAR SIDING

1320 E PINE

STREET LEVEL LANDSCAPE PLAN

STREET AND COURTYARD



STREET LEVEL LANDSCAPE MATERIALS

PLANT CHARACTER - STREET & COURTYARD



Frontier Elm



Cascara



Vine Maple



Service Berry



Mexican Orange



Pachysandra



Miscanthus Little Kitten



Mount Vernon Laurel



Ice Dance Carex



Climbing Hydrangea



Stonecrop

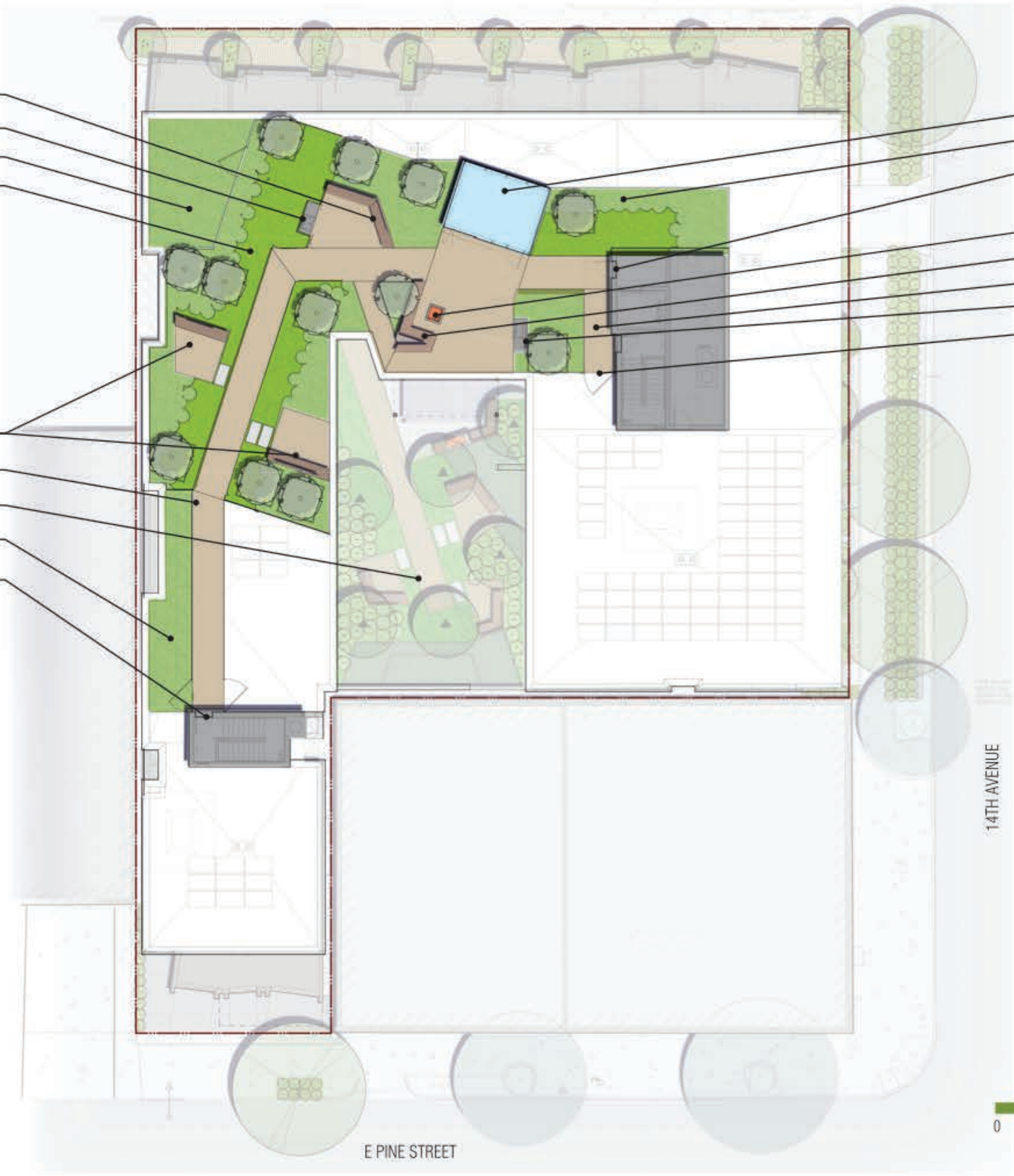
ROOF DECK LANDSCAPE PLAN

ROOFTOP

- OUTDOOR BUILT-IN SEATING
- OUTDOOR GRILL
- GREENROOF TILES
- PLANTING AREA, TYP

- OUTDOOR BUILT-IN SEATING
- DECKING, TYP
- COURTYARD BELOW
- GREENROOF TILES
- BUILDING ACCESS

- GREENHOUSE
- PLANTING AREA, TYP
- BUILDING ACCESS
- GAS FIRE PIT AND BUILT-IN SEATING
- OUTDOOR BUILT-IN SEATING
- DECKING, TYP
- OUTDOOR GRILL
- MAINTENANCE ACCESS, TYP



PLANT CHARACTER - ROOFTOP



Natchez Crepe Myrtel



Mexican Feather Grass



Sedum Mix Tray



Miscanthus Little Kitten



Salvia

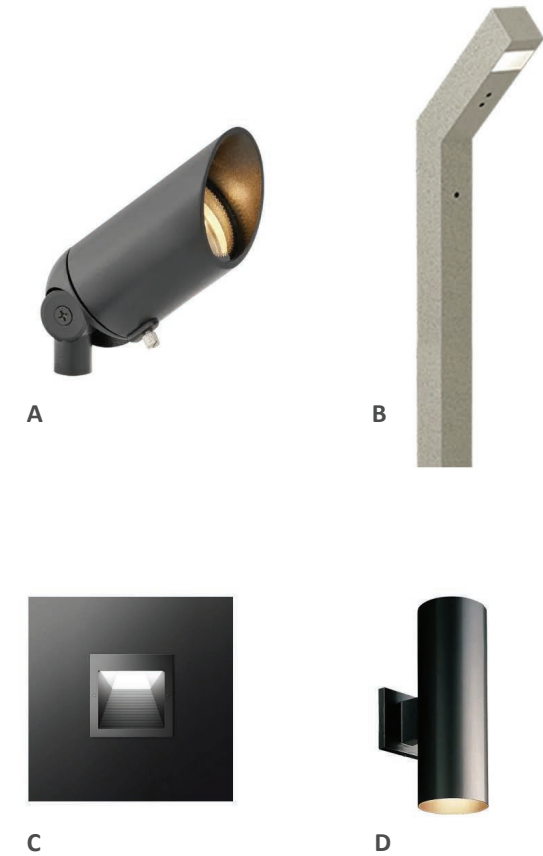


Stonecrop

EXTERIOR LIGHTING DIAGRAM

FIXTURE TYPES

- A UPLIGHT FOR TREES (HINKLEY 12W)
- B POST-STYLE FIXTURE (B-K LIGHTING ANGLED LIGHTSTICK)
- C STEP/WALL LIGHT (BEGA WALL LIGHT)
- D WALL SCONCE (WESTINGHOUSE TALL 2)



NIGHT TIME RENDERING - VIEW FROM 14TH AVE.



1320 E PINE

NIGHT TIME RENDERING - VIEW FROM PINE ST.



SIGNAGE CONCEPT

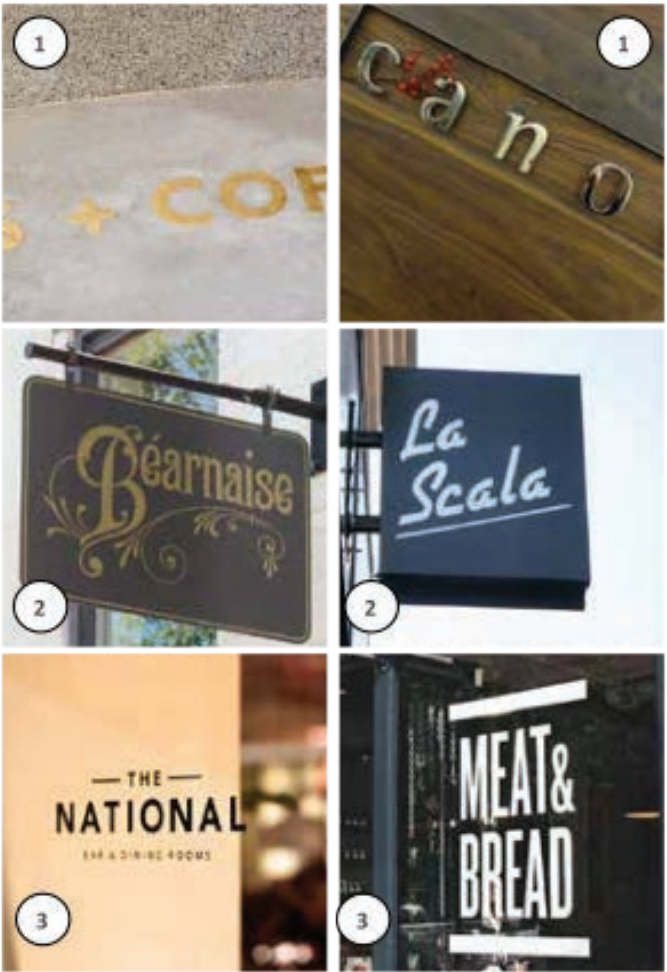
RESIDENTIAL SIGNAGE

- Residential lobby signage: Die cut decal centered on large entry pane providing appropriate level of signage for a street more residential in nature. The glowing lobby will also provide a subtle but distinct indicator. Building numbers are raised of the substrate and backlit.

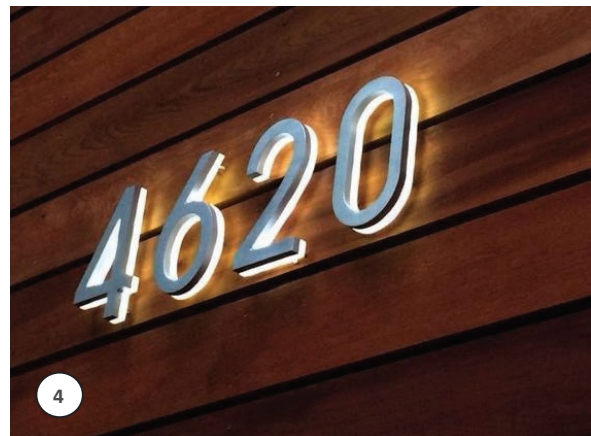


RETAIL SIGNAGE

- Retail Entry Signage: Signs shall be well crafted and composed of materials and colors that reference and enhance the buildings material palette.
- Blade Sign: (1) double-sided sign hung off the underside of the canopy.
- Window Decal: (1) die cut window decal may be installed on the glazed door lite or the storefront glazing adjacent to the retail entry.
- Cast signage: (1) embedded cast metal signage may be installed at entry.



SIGNAGE REFERENCES



ILLUMINATED BUILDING NUMBERS

THEME: ARCHITECTURAL CONCEPT, MASSING & MATERIALS

BOARD GUIDANCE

The Board noted the EDG packet includes a comprehensive urban design analysis and a logical sequence for the massing alternatives given the unique site shape. The majority of the Board supported the preferred massing alternative, with the south-facing courtyard. The Board expressed excitement with the bold and innovative ‘stacked-box’ design concept and relied heavily on the precedent images provided in the EDG Package to provide guidance.

GUIDANCE

A. Clearly define the box frame to articulate individual box massing elements. (CS2-A, DC2-B)

RESPONSE:

We have maintained a clear articulation of the box massing elements around the building. This articulation has been propagated to the party walls as well to maintain a similar level of variegation.

GUIDANCE

B. Provide facade depth, and angled planes, to add texture to the facade, and provide a second level of box articulation. (CS2-A, DC2-B)

RESPONSE:

Facade depth is provided by expressing the frames of the box proud of the infill componets while creating a sharp reveal between boxes. In contrast to the ortagonal stacked-box massing, angled planes have been introduced along the ground-plane by twisting the box epxression along 14th Ave and the “cottages” along the Norht property line. This dynamic relationship between the upper and lower massing is a reflection of nieghborhood pattern as presented during the EDG meeting and expressed in the the massing of the preferred scheme.



GROUND FLOOR ALONG 14TH AVE. SHOWING RESIDENTIAL WALK-UPS

THEME: ARCHITECTURAL CONCEPT, MASSING & MATERIALS

BOARD GUIDANCE

GUIDANCE

- C. Utilize a limited material palette consisting of natural, quality materials. The Board expressed support for the use of natural wood and materials that read like concrete. (CS2-A, DC2-B, DC4-A)

RESPONSE:

We have a constrained set of materials that are naturally expressed where the material allows. For example, the cedar infill panels will have a sealer that allow for a natural finish, however the metal wraps that articulate the boxes will have a prefinished light gray color with darker infill panels at gaps between boxes, providing a neutral frame that further accentuates the natural character of the wood. At the ground floor the wood becomes is expressed in a field application framing feature with the darker panels becoming the infill.



GROUND FLOOR ALONG NORTH PROPERTY LINE SHOWING GROUND-LEVEL “COTTAGE” UNITS

THEME: ARCHITECTURAL CONCEPT, MASSING & MATERIALS

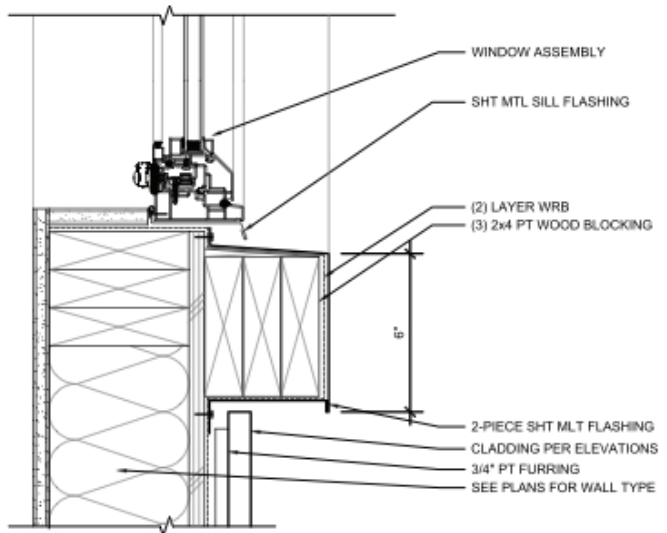
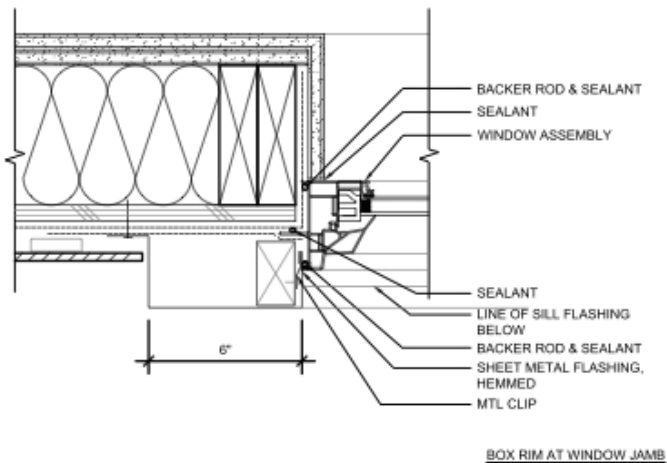
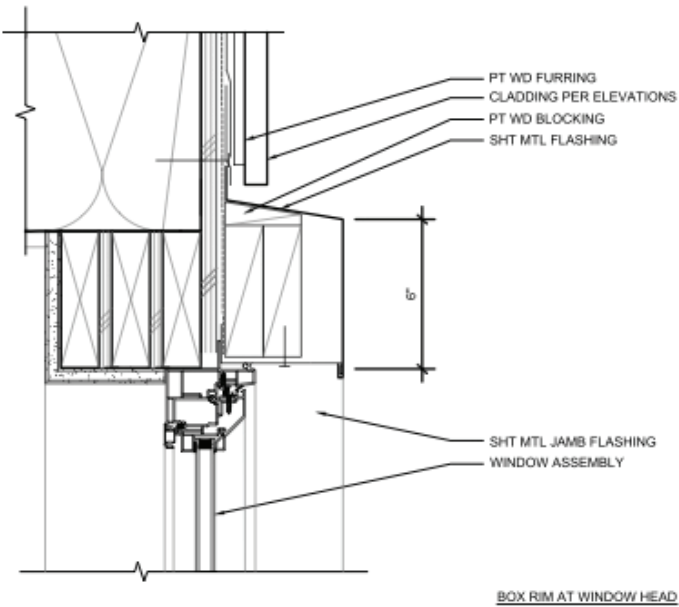
BOARD GUIDANCE

GUIDANCE

- D. Include a fine grain of architectural and material detailing to create a cohesive design. Integrate venting and consider using balconies to soften the facade. (CS2-A, DC2-B, DC4-A)
- RESPONSE:**
Crisp, careful detailing of the metal flashing at the boxed frames, the integration of the windows, and creating distict shadow lines between planes of different materials help reinforce the overall concept of the “stacked-box” scheme.



SECTION DETAIL SHOWING REVEAL DEPTHS



THEME: ARCHITECTURAL CONCEPT, MASSING & MATERIALS

BOARD GUIDANCE

GUIDANCE

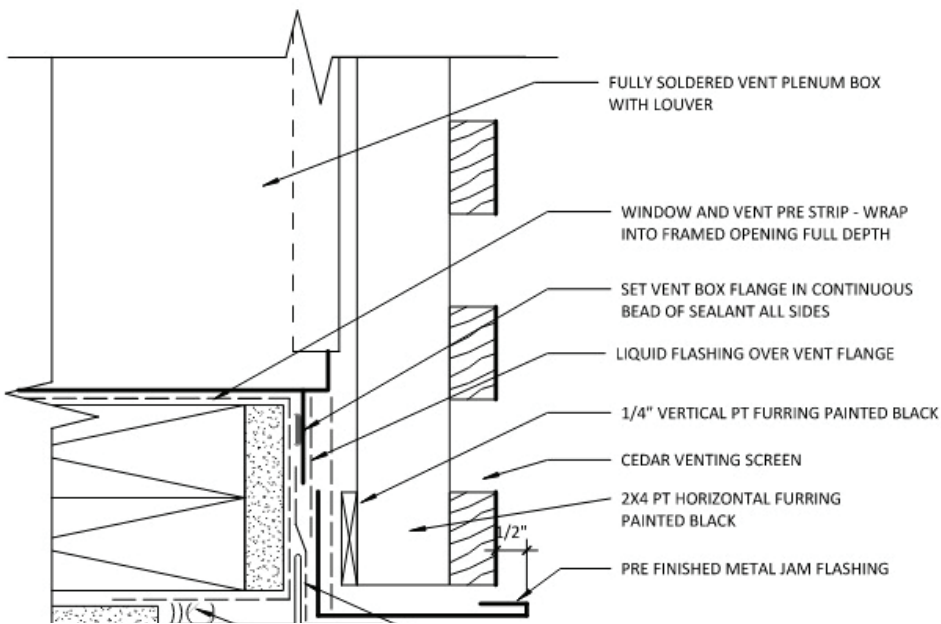
- D. Include a fine grain of architectural and material detailing to create a cohesive design. Integrate venting and consider using balconies to soften the facade. (CS2-A, DC2-B, DC4-A)

RESPONSE:

The venting is integrated behind the siding in a seamless expression of the fenestration pattern; small reveals in the boards provides the ventilation. The wood vent screening is oriented vertically or horizontally to match the orientation of the adjacent siding.



DETAIL VIEW AT VENT



CONSTRUCTION DETAIL AT VENT

THEME: ARCHITECTURAL CONCEPT, MASSING & MATERIALS

BOARD GUIDANCE

GUIDANCE

- D. Include a fine grain of architectural and material detailing to create a cohesive design. Integrate venting and consider using balconies to soften the facade. (CS2-A, DC2-B, DC4-A)

RESPONSE:

We studied the use of providing balconies. We found that adding balconies were not successful in softening the expression but instead added unnecessary complexity and created a disjointed harshness to the building. In addition, adding decks would run contrary to the recommendation of the board to keep a limit palette of materials, working against the goal to create a cohesive design.



VIEW AT OF 14TH AVE, DECK STUDY #1



VIEW AT OF 14TH AVE, DECK STUDY #2



VIEW AT OF 14TH AVE, DECK STUDY #3

PAGE LEFT INTENTIONALLY BLANK

THEME: ARCHITECTURAL CONCEPT, MASSING & MATERIALS

BOARD GUIDANCE

GUIDANCE

E. The Board requested to see illustrations of the building, with the adjacent context, from the four corners approximately a block away, at the Recommendation Meeting. (CS2-A, DC2-B, DC4-A)

RESPONSE:

These are the model perspectives that show the building in context from each of the cardinal directions. (4 long distance shots; one from each corner)



VIEW LOOKING NORTHWEST FROM THE INTERSECTION OF PINE ST. AND 14TH AVE.

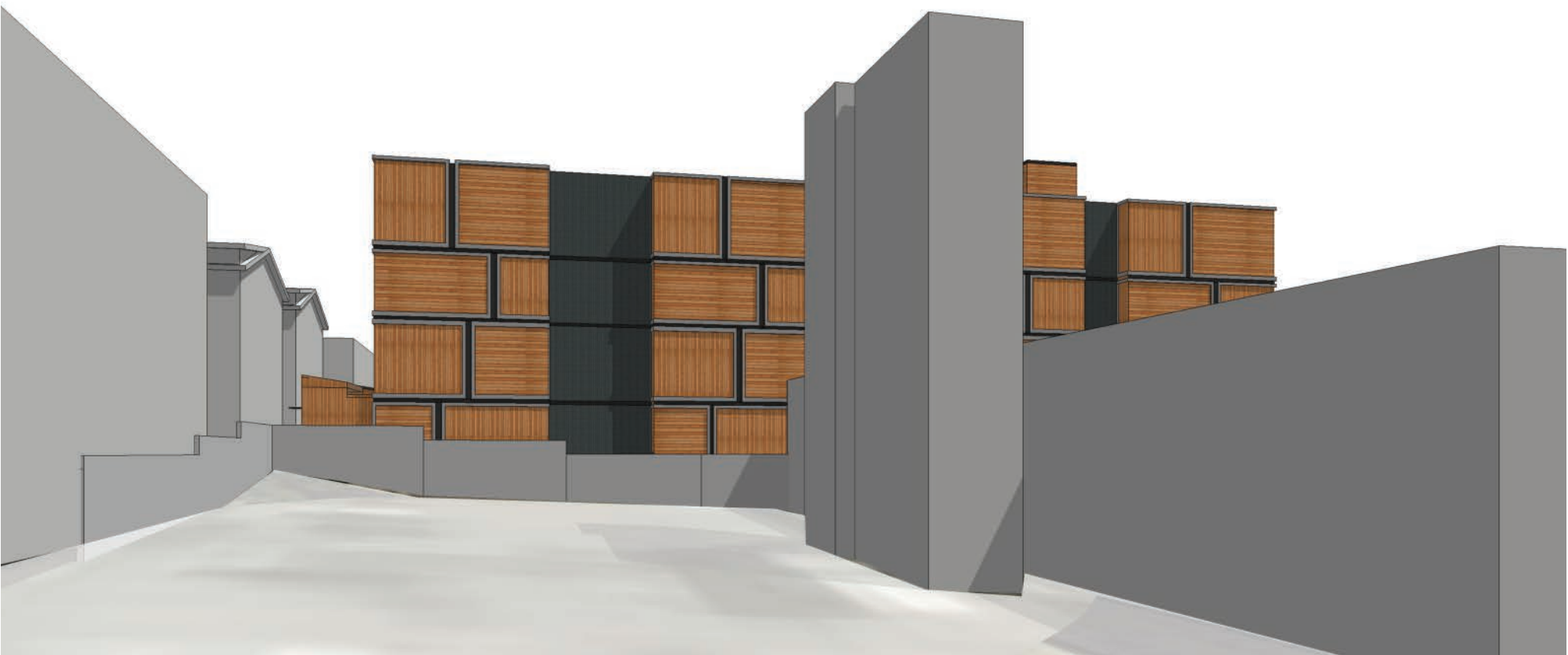


VIEW LOOKING SOUTHWEST FROM 14TH AVE.

THEME: ARCHITECTURAL CONCEPT, MASSING & MATERIALS



VIEW LOOKING NORTHEAST FROM PINE ST.



VIEW LOOKING EAST FROM 13TH AVE. (ACROSS FIRE DEPT. PARKING LOT)

1320 E PINE

THEME: PINE STREET

BOARD GUIDANCE

The Board agreed the single-story Pine Street commercial space needed further development.

GUIDANCE

- A. Carry the ‘stacked box’ design concept to street level, similar to the massing shown on page 21 (see below). The Board noted the location on Pine Street required a unique and special expression. (CS2-A, CS3-A, DC2, PL3-IV)

RESPONSE:

We combined the ‘stacked box’ design of the upper massing building with the turned-box concept of the 14th Avenue and North Cottage ground floor massing to the Pine St. façade to provide a unique and special expression that is still referential to the rest of the building. The two different metal panels that wrap this lower mass are also used in the upper building massing (infill panels adjacent to windows and the interstitial space between boxes) providing an additional connection between these distinct areas. This ‘box of boxes’ tucked under the larger building gives the frontage along Pine St. fine-grain scale while still relating to the larger residential portion of the building.

- B. The Board urged the team to consider a double height commercial space on Pine Street. The Board agreed the datum of the existing buildings should not dictate the future building massing. (CS2-A, CS3-A, DC2)

RESPONSE:

The ground floor commercial space is a two-story height expression with a mezzanine incorporated to in the back of the space. Furthermore, we pulled the 2nd floor of the building out to the same façade plane as the retail below to increase the street presence along Pine St. to satisfy the intent of the Board recommendation.



REFERENCED IMAGE FROM PAGE 21 IF EDG PACKET



VIEW OF PINE ST. FACADE LOOKING NORTHEAST

THEME: PINE STREET

BOARD GUIDANCE

GUIDANCE

C. Include space to provide outdoor seating similar to the commercial uses across the street. (PL1-A, PL2, PL3-C, PL3-IV)

RESPONSE:

Given that the sidewalk is too narrow to provide shared outdoor seating, we pulled the building back slightly to allow for dedicated outdoor seating for the commercial tenant.

GUIDANCE

D. Treat any ground-level blank walls to reinforce the design concept. Consider incorporating glazing and/or lighting. (CS2-A, CS3-A, DC2, PL3-IV)

RESPONSE:

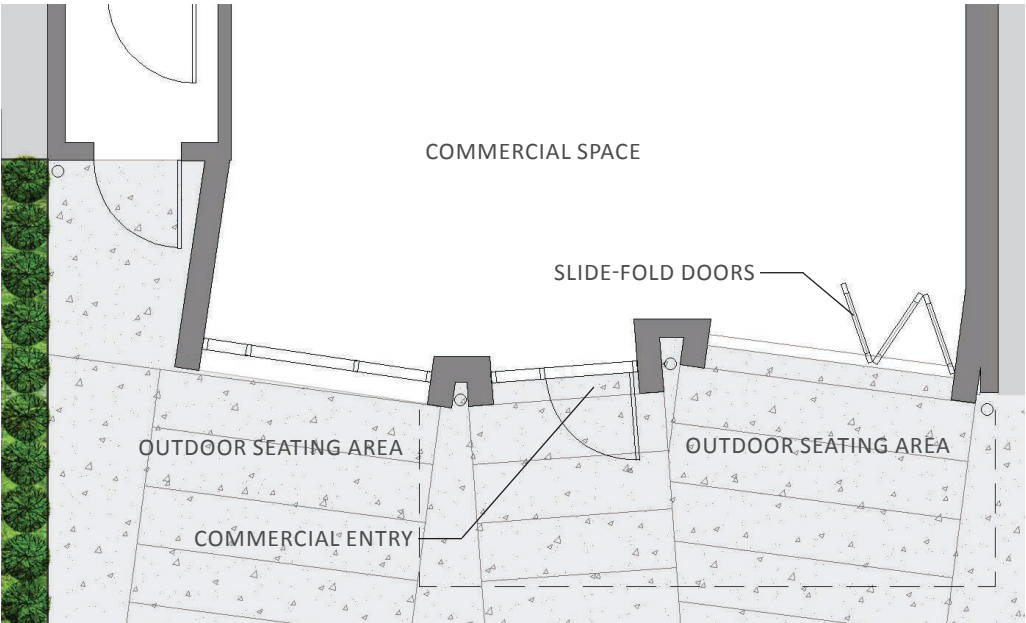
We have pulled back a portion of the façade approximately 5'-0" from the west property line to allow for secondary articulation of the massing and highlight the contrast between the static planes off the party wall with the dynamic/angled planes off the retail frontage. This also creates a defined space at the corner and allow the westernmost 'box' to be further rendered as a discrete object. Furthermore, this pushes the required egress door at the west edge further from the sidewalk in an effort minimize its impact on the street composition.



VIEW OF EGRESS AT WEST EDGE OF PINE ST. FACADE



DETAIL ELEVATION AT PINE ST. COMMERCIAL



ENLARGED PLAN - RETAIL ENTRY

1320 E PINE

THEME: 14TH AVENUE STREETSCAPE

BOARD GUIDANCE

The Board appreciated the ground level residential units along 14th Avenue and supported the concept of individual stoops, with direct stairs, as shown on page 18 of the EDG packet (see below). The Board expressed some reservation about the depth of the building overhang and provided the following guidance.

GUIDANCE

- A. Study the design treatments for the stoops in plan and section:
 - a. Determine the optimal proportion (height and depth) to allow light into the stoops (PL2-B, PL3-B, PL3-II and II),
 - b. Provide sufficient depth to create residential privacy without the use of blinds (PL2-B, PL3-B, PL3-II and II),
 - c. Utilize a combination of grade change and landscaping to provide a semi-private transition space (PL2-B, PL3-B, PL3-II and II), and
 - d. Define the private porch space but maintain clear sight lines to the street. (PL2-B, PL3-B, PL3-II and II)
- B. The Board noted they would be open to a ground level setback departure request if it were necessary to respond to the early design guidance for the stoop design. (PL2-B, PL3-B, PL3-II and II)

RESPONSE:

As noted by the Board and after careful internal study, we determined that having the entire ground floor expression pushed by 10’ from sidewalk (zoning code requirement) didn’t provide the optimal proportion to allow in light. To create a balance between access to light and privacy, we pulled the majority of the residential unit out so it sat 6’ back from sidewalk, while still providing a recessed entry recessed entry that provides an stair with elevated entry landing. As to not be too compact, we incorporated a small “bench” adjacent to the entry door that is enough to set down groceries or other items while letting oneself into the apartment. Pulling the portion of the unit façade closer to the sidewalk minimizes the overhang and helps provide better access to natural light into the unit. The shapes and placement of the windows, work to create a balance between activation, access to light and air and providing an appropriate level of privacy. The careful balance of all these components produces a unit that helps activate the street (i.e. less reliance on blinds) but still affords privacy for the tenant.

In addition, we are seeking a Depature to accomplish this shift which is covered in more detail latter in the packet.



DETAIL ELEVATION OF 14TH AVE. RESIDENTIAL UNIT ENTRIES



REFERENCED PHOTO FROM PG. 18 OF EDG PACKET

THEME: WEST PARTY WALL

BOARD GUIDANCE

The Board noted the west façade above the fire station would likely be visible for the life of the building. The Board agreed the west façade should be modified to articulate the ‘stacked box’ design concept.

GUIDANCE

- A. Provide depth to the façade, include shifts in the massing, and deeper insets, to clearly articulate the ‘stacked box’ forms. (CS2-A, DC2-B, DC4-A)
- B. Include sufficient depth in the facade articulation to provide additional glazing. (CS2-A, DC2-B, DC4-A)

RESPONSE:

To bring further articulation to the West façade above the fire station, we incorporated the ‘stack box’ expression that is being applied to the other areas of the building. This not only helps activate the west elevation but provide a more unified expression when viewed with the other building elevations (north and south). As recommended by the Board, we increased the depth of each inset to increase the amount of glazing on each return.



PERSPECTIVE LOOKING EAST AT WEST PARTY WALL

THEME: NORTH COTTAGE ROW

BOARD GUIDANCE

The Board expressed support for the cottage design concept shown on page 36 of the EDG packet (page 72 of this packet). The Board appreciated the additional ground level setback but felt additional detail was necessary to fully understand the function of the space.

GUIDANCE

A. In plan view, demonstrate how the interior programming will activate the setback space. In plan and section, demonstrate the setback space is a sufficient width to facilitate urban outdoor living. (PL3-B, PL3-II)

RESPONSE:

Each unit has their most public space, the Living Room, adjacent to the outdoor patio area. The glass swing door and adjacent operable window allow for the interior space to spill out onto the patio. Furthermore the north-south orientation of the exterior decking surface will match that of the orientation of the interior flooring, providing another connective element. See the attached plan and section study that shows how the space could be activated and how it would spatially related to the Living area of the unit. (Plan and section study of North patio activation)

GUIDANCE

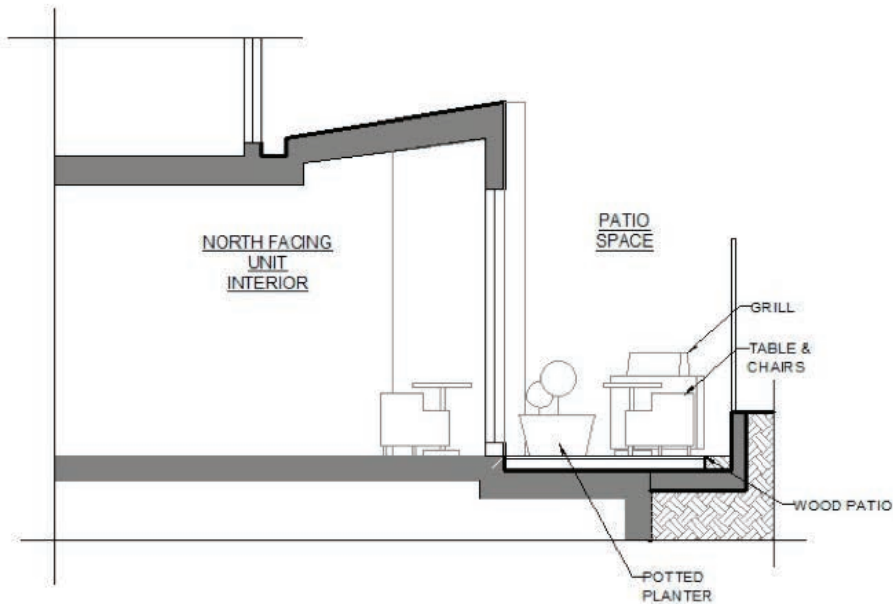
B. Clarify how pedestrian access will be accommodated or discouraged from the street. The Board discouraged the use of a gate. (PL3-B, PL3-II)

RESPONSE:

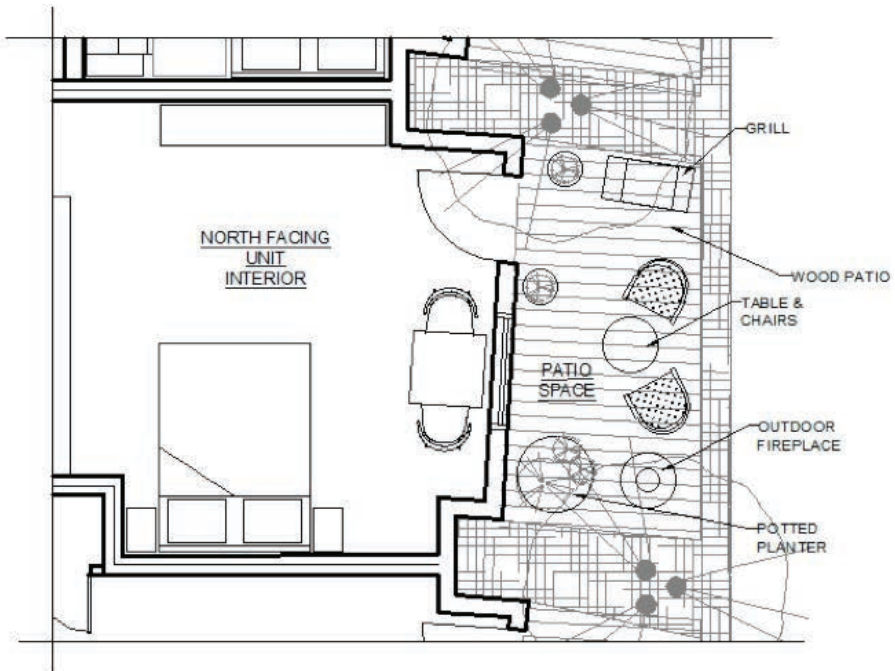
To provide a signal that the patios are private, we eliminated the service path that ran from the patios to the sidewalk. We designed a landscaped buffer with substantial plantings that clearly define the private patios from the public sidewalk while providing clear visual access for security and safety. In addition to the adjacent perspective, see the rendered Landscape plans to see the context and design.



LOOKING WEST FROM SIDEWALK AT NORTH FACING “COTTAGES”



DETAIL SECTION OF “COTTAGE” AND ADJACENT PATIO



DETAIL PLAN OF “COTTAGE” AND ADJACENT PATIO

THEME: NORTH COTTAGE ROW

GUIDANCE

C. Develop the south (North) façade to minimize privacy impacts for the adjacent residential development. At the Recommendation meeting the Board requested a privacy study for the north façade. (CS2-D5)

RESPONSE:

See the North Elevation drawing where we show the window locations of the townhouses to the north of the property. To the greatest extent feasible, we placed our windows to minimize alignment between the two buildings.



NORTH ELEVATION WITH TOWNHOUSE WINDOW GRAPHIC IMPOSED OVER

THEME: LANDSCAPE

BOARD GUIDANCE

The Board expressed support for the landscaping concepts articulated on page 32-33 of the EDG packet (page 73-74 of this packet). The Board provided guidance to maximize landscaping, consider unit livability, and articulate the ‘stacked box’ design concept within the courtyard and roof deck. (DC4-D)

RESPONSE:

Given the massing and incorporation of open space into the project, we have ample areas to provide landscaping. In the courtyard and the roof deck, we designated different areas for large and small gatherings. The small gathering pods provide a more intimate experience vs. the larger open deck area for bigger gatherings. At both the courtyard and the roof deck, we provided ample areas of green to create a lush setting and provide a buffer between the courtyard units and the occupied areas of the courtyard. For more detail, reference the rendered Landscape plans to see how this was executed.



COURTYARD PERSEPCTIVE LOOKING NORTH

THEME: GROUND LEVEL PROGRAMMING

BOARD GUIDANCE

The Board agreed the ground level programming needed further attention.

GUIDANCE

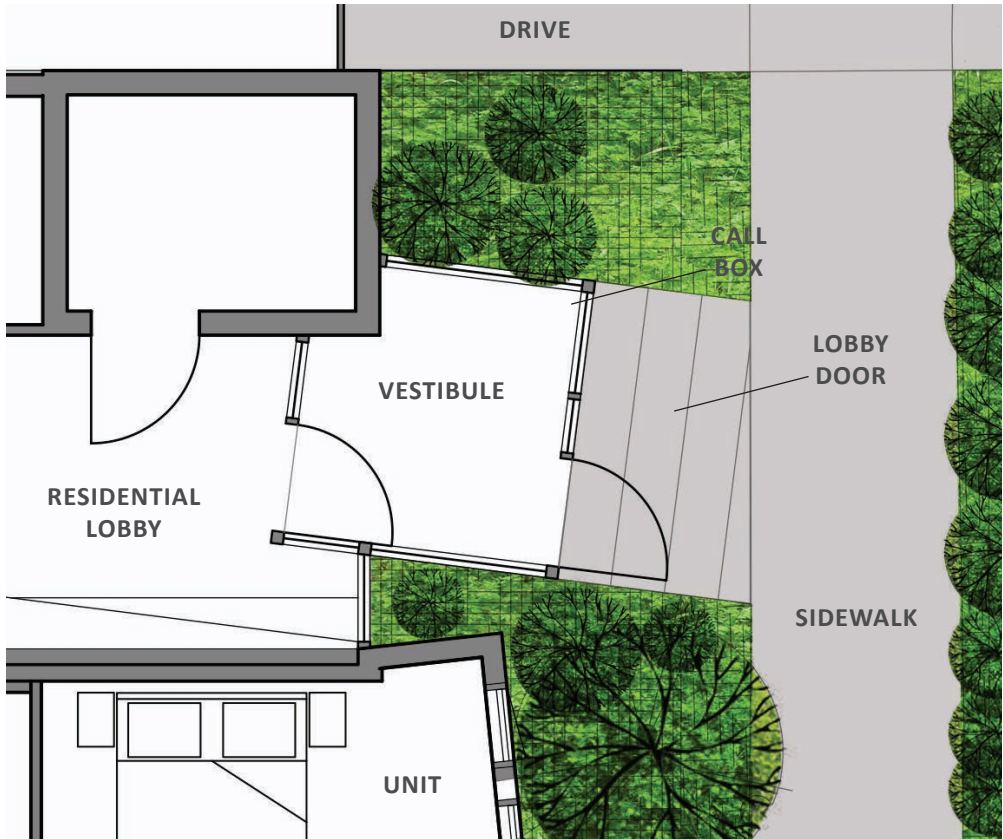
A. At the Recommendation Meeting demonstrate how the garage access provides clear sight lines to passing pedestrians while also minimizing the visual impacts. (DC1-B, DC1-C, DC1-II)

RESPONSE:

The garage door is setback from the street more the 10’ to provide for clear sight lines on either side of the drive ramp to the sidewalk. The garage door has been incorporated into the design of the facade as to be cleanly presented while not drawing too much attention to it.



PERSPECTIVE OF RESIDENTIAL LOBBY ENTRANCE AND RECESSED GARAGE ENTRY ALONG 14TH AVE.



RESIDENTIAL LOBBY, ENLARGED PLAN

THEME: GROUND LEVEL PROGRAMMING

BOARD GUIDANCE

GUIDANCE

B. At the Recommendation Meeting clarify the location for street-level garbage staging. Provide details on how the space will be treated to minimize visual impacts. Provide a study of positive precedents within the city. (DC1-B, DC1-C, DC1-II)

RESPONSE:

Through dialog with Angela Wallis at SPU, she has asked that we provide front-loading dumpsters that are required to be staged on the street for pick-up. These will sit in a restricted parking area along 14th. They will be brought up for trash day and brought back down again that day after pick-up. Since these need to be staged in the street since they are front-loaded, there was no need for a dedicated area on our site.

GUIDANCE

C. At the Recommendation Meeting provide details for the garage door and other back of house access doors. (DC1-B, DC1-C, DC1-II)

RESPONSE:

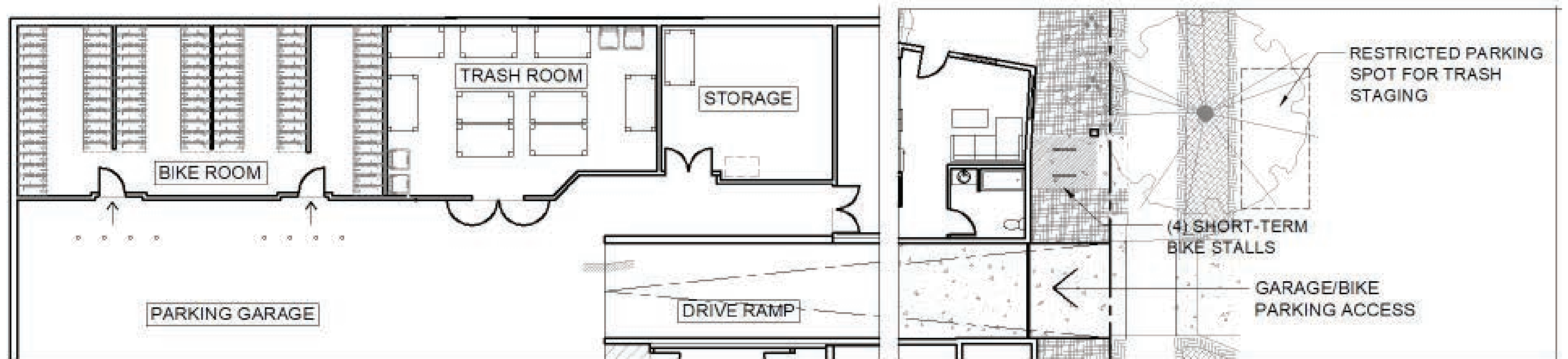
See plan below for garage door location in relation to other back of house access doors which are all located in the below grade garage.

GUIDANCE

D. Locate the bike room so that is easily accessible. (DC1-B2)

RESPONSE:

We have provided a bike room at the bottom of the drive ramp and provide two entry doors at either end of the bike room for easy access and storage. We have also provided a protected staging area outside the bike room in the parking garage to further promote ease of use.



PLAN DETAIL AT P1/LEVEL 1 SHOWING BIKE ROOM ACCESS, TRASH ROOM AND COLLECTION DAY STAGING AREA ON 14TH AVE.

DEPARTURE REQUEST

SMC 23.47A.014.B.3.A SETBACK REQUIREMENTS

REQUIRED/ALLOWED:
For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone fifteen feet for each portion of a structure above 13 feet in height to a maximum of 40 feet above grade plane (Exhibit C for 23.47A.014)

PROPOSED:
At the north façade, allow encroachment into the 15 foot setback of 1’-9” above the 13 foot height limit above grade plane. The encroachment is the portion of sloped roofs above the north ground floor units that makes the “village” expression. See A-300 “Building Sections” for the area of encroachment.

RATIONALE:
The departure will allow us to maintained a sloped roof expression for the north ground floor units that helps us creates the residential expression of a cluster of back yard cottages. The proposed massing expression closely matches the preferred design presented at the EDG and was supported by the Board. Of importance is that the Average Grade Plane starts approximately 3’-0” below our First Level elevation which is already 1’-6” inches lower then our neighboring property to the north. Meaning that the relative height of the roof of these units is approximately 10’-9” above the neighboring grade to the north which, it would seems, satisfy the spirit of the setback requirement. Also, we are more then offsetting the small addition of bulk of the sloped roofs by puling the base well inside the allowable zoning envelope that goes to the north property line.

DESIGN GUIDELINE SUPPORTING RATIONAL:
• DC2-B ARCHITECTURAL AND FACADE COMPOSITION

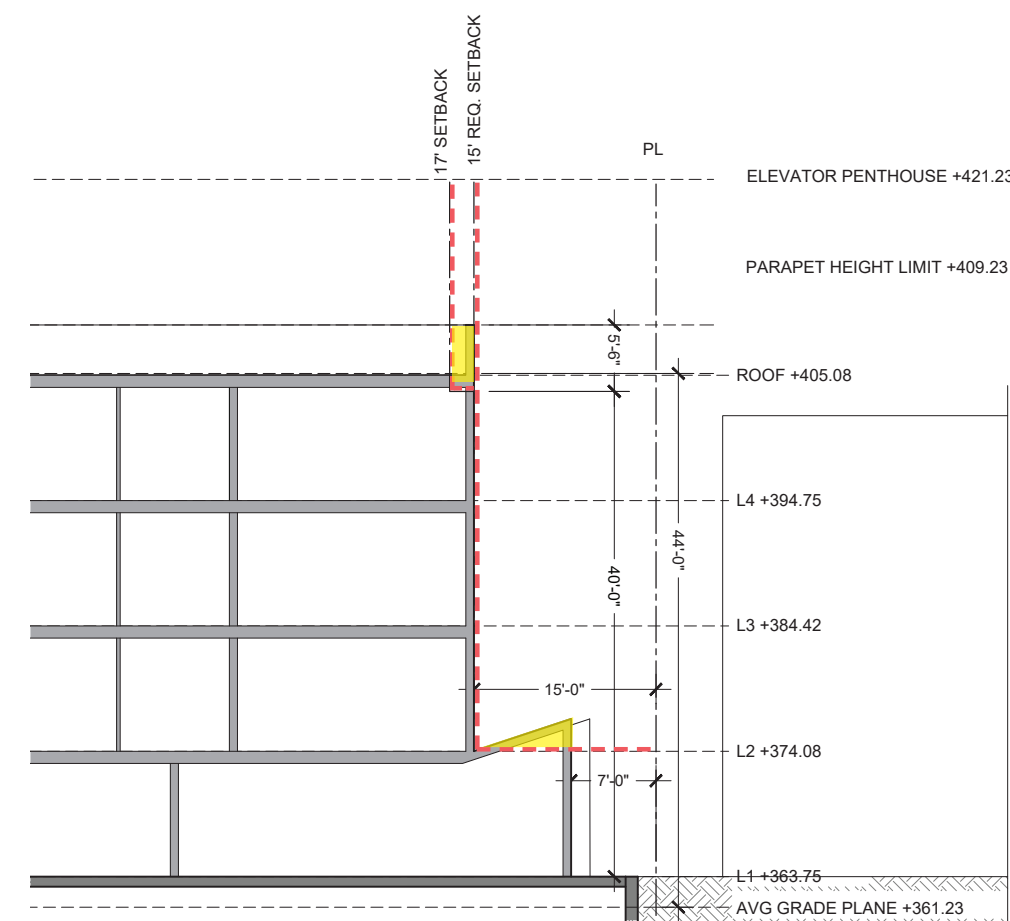
SMC 23.47A.014.B.3.B SETBACK REQUIREMENTS

REQUIRED/ALLOWED: For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone for each portion of a structure above 40 feet in height, additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet above grade plane (Exhibit C for 23.47A.014)

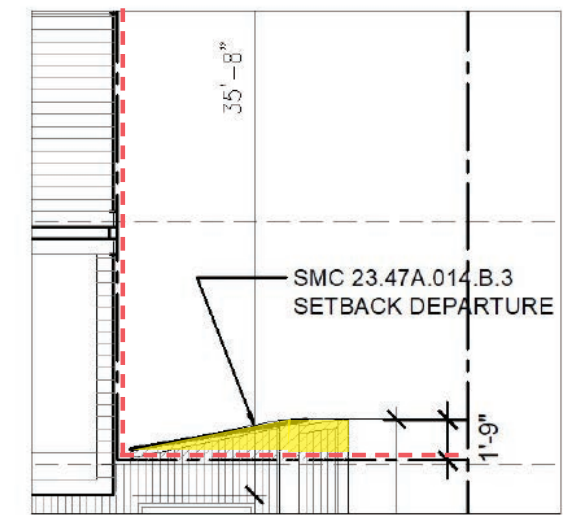
PROPOSED:
At the north façade, allow encroachment of 2 feet into the 17 foot setback from building height 40 feet to 48 feet. 4 ft of the 8ft of the vertical encroachment is parapet. See A-300 “Building Sections” for the area of encroachment.

RATIONALE:
The departure allows us to maintain a consistent façade plane along the north lot line rather than stepping the 4th floor back 2 feet. This provides the building with a cleaner massing; consistent with many other building facades in our neighborhood. In addition, we are offsetting the small addition of bulk at the top of the building by puling the base well inside the allowable zoning envelope which is 13 feet tall and goes all the way to the north property line. The Board indicated during the EDG meeting that they would likely support this Departure request.

DESIGN GUIDELINE SUPPORTING RATIONAL:
• DC2-B ARCHITECTURAL AND FACADE COMPOSITION



SECTION AT NORTH PROPERTY LINE



DETAIL SECTION AT SLOPED ROOF

 OVERLAP AREA INTO SETBACK

DEPARTURE REQUESTS

SMC 23.47A.008.D.2

Street-Level Development Standards; Residential Uses At Street-Level Street-Facing Facades

REQUIRED/ALLOWED:

The floor of a dwelling unit located along the street-level street facing façade shall be at least 4 feet above or 4 feet below sidewalk grade or be setback at least 10 feet from the sidewalk.

PROPOSED:

Allow the ground floor residential units along 14th Avenue to be located within the 10 foot setback requirement from the sidewalk.

RATIONAL:

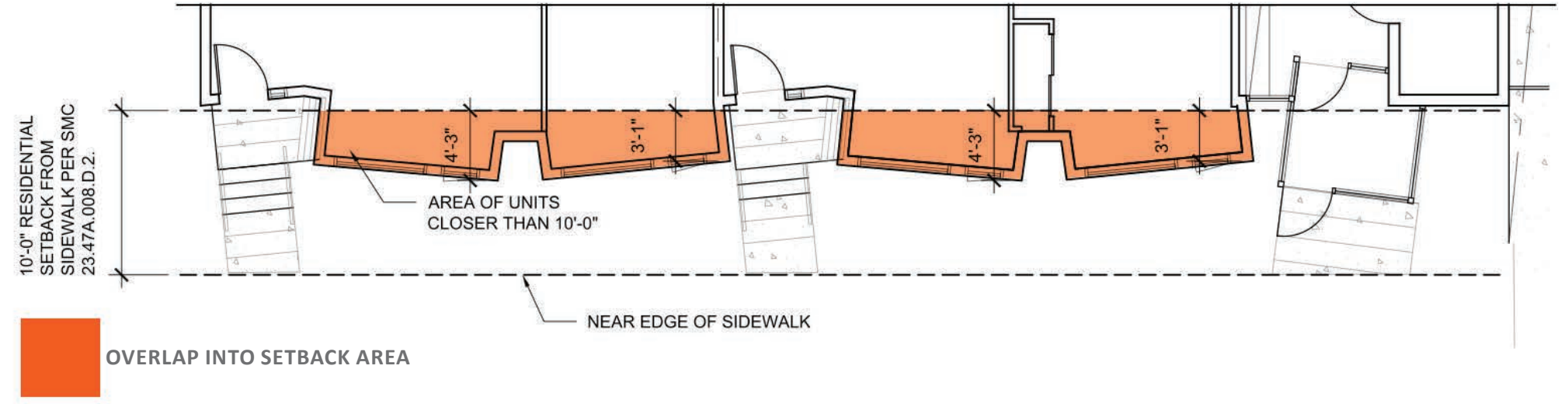
At the early design guidance meeting, the Board expressed some concern that the building overhang along 14th was too deep. They asked us to determine the optimal proportion (height and depth) to allow light into the stoops and the units, and voiced willingness to support a ground level setback departure request if it's necessary to respond to the early design guidance for the stoop design.

As noted by the Board and after careful internal study, we determined that having the entire ground floor expression pushed by 10' from sidewalk (zoning code requirement) didn't provide the optimal proportion to allow in light. To create a balance between access to light and privacy, we pulled the majority of the residential unit out so it sat 6' back from sidewalk, while still providing a recessed entry recessed entry that provides an stair with elevated entry landing. As to not be too compact, we incorporated a small "bench" adjacent to the entry door that is enough to set down groceries or other items while letting oneself into the apartment. Pulling the portion of the unit façade closer to the sidewalk minimizes the overhang and helps provide better access to natural light into the unit. The shapes and placement of the windows, work to create a balance between activation, access to light and air and providing an appropriate level of privacy. The careful balance of all these components produces a unit that helps activate the street (i.e. less reliance on blinds) but still affords privacy for the tenant.

For the reasons above, we believe by moving portions of the ground-level 14th facade closer to the sidewalk shepls us better meet the intent of the Design Guidelines.

DESIGN GUIDELINE SUPPORTING RATIONAL:

- PL2-B SAFETY AND SECURITY
- PL3-B/PL3-II RESIDENTIAL EDGES



PREFERRED SCHEME



CODE COMPLIANT SCHEME

DEPARTURE REQUESTS

SMC 23.47A.008.A.3

REQUIRED/ALLOWED:

Street-level street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.

PROPOSED: Allow a small west portion of the Pine Street ground floor façade to be further from the street lot line than 10 feet. Specifically, the area that contains the egress door from the parking garage.

RATIONALE:

In an effort to better meet the recommendation of the Board at the EDG meeting, we reworked the design of the west facade to provide more activation at the southwest corner. To that end, we have pulled back a portion of the west façade an additional 4'-6" from the 10'-0" maximum setback to create this secondary articulation of the massing and highlight the contrast between the static planes off the party wall and return with the dynamic/angled planes off the retail frontage. In addition to increased visual interest the Board was looking for, this also creates a defined space at the corner and allow the westernmost retail 'box' to be further rendered as a discrete object. Furthermore, this pushes the required egress door at the west edge further from the sidewalk in an effort minimize its impact on the street composition.

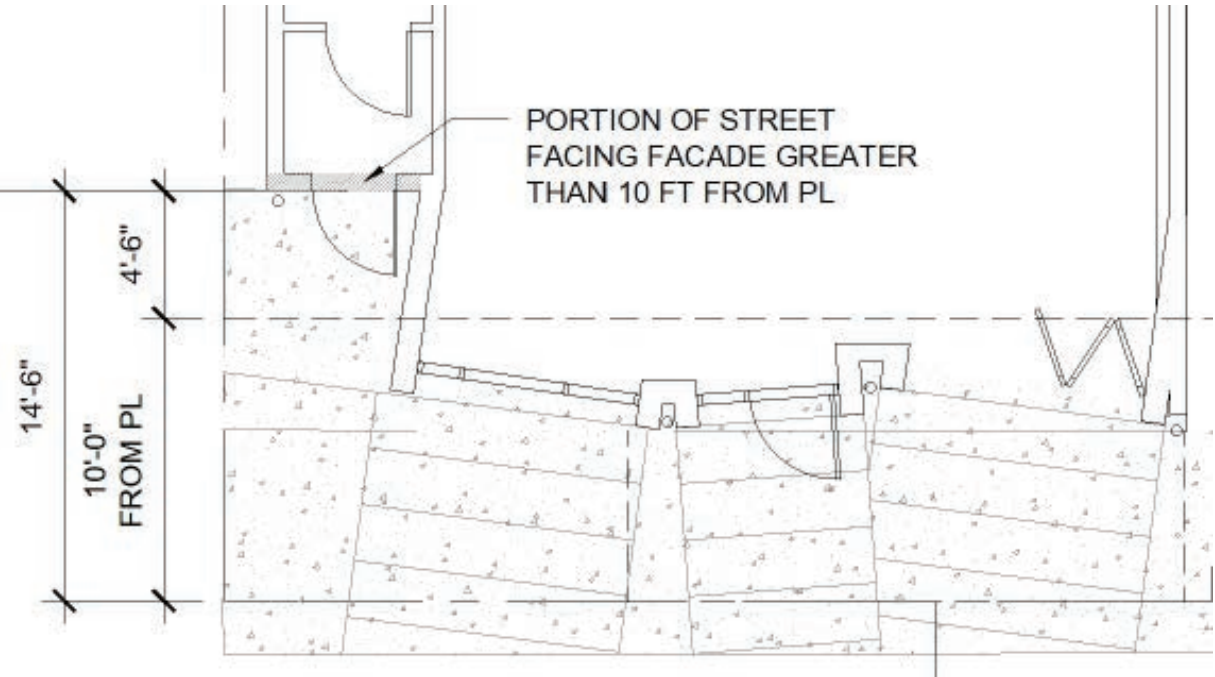
We believe diminishing the impact of the non-active egress door and highlighting the active retail facade better meets the intent of the Design Guidelines.

DESIGN GUIDELINE SUPPORTING RATIONAL:

- PL3-IV RETAIL EDGES



DETAIL PERSPECTIVE OF RETAIL FACADE



PLAN DETAIL OF RETAIL FACADE

DEPARTURE REQUESTS

SMC 23.41.012.B.36

REQUIRED/ALLOWED:

In pedestrian designated zones mezzanines must meet the requirements for floor-to-floor height as provided in subsection 23.47A.008.B.4 (minimum 13 feet). A departure for this provision may be granted for a mezzanine with less than minimum floor-to-floor height provided that the outer edge of the mezzanine floor is at least 15 feet from the exterior wall facing a principal pedestrian street.

PROPOSED: Locate outer edge of mezzanine floor more than 20 feet (20'-9") from the exterior wall facing a principal pedestrian street.

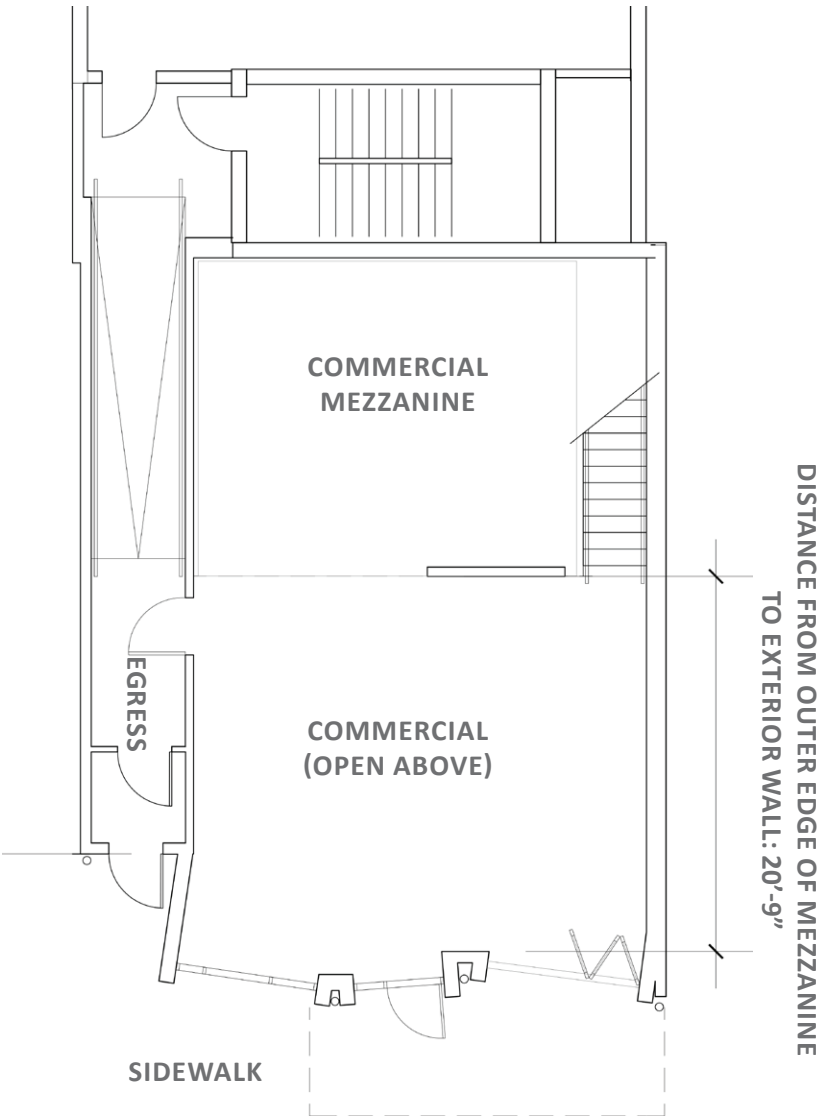
RATIONALE:

Dimensionally, the commercial space is fairly tall and deep. The layout is such that the addition of a mezzanine to the rear of the space works well functionally for a variety of potential tenants, even though it is below the typical floor-to-floor height threshold of 13 feet. By moving the outer edge of the mezzanine 5 feet further back beyond the code required 15 foot minimum setback required for departure (20'-9"), the visibility of the mezzanine is diminished from the exterior. The recessed mezzanine helps the commercial space read as a tall two-story volume from the street to help establish an urban presence, while still offering functionality that will help to draw a high quality commercial tenant to the neighborhood.

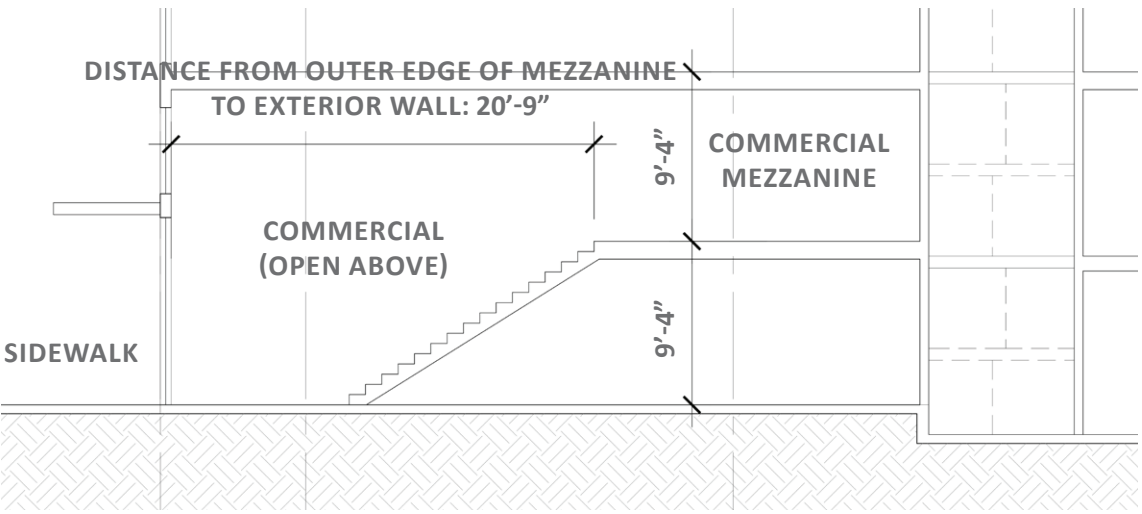
We believe preserving the vertical nature of the exterior of the space, while increasing the functionality of its interior with a mezzanine better meets the intent of the Design Guidelines.

DESIGN GUIDELINE SUPPORTING RATIONAL:

- PL3-IV-i: Ground Floor Retail Edge Design

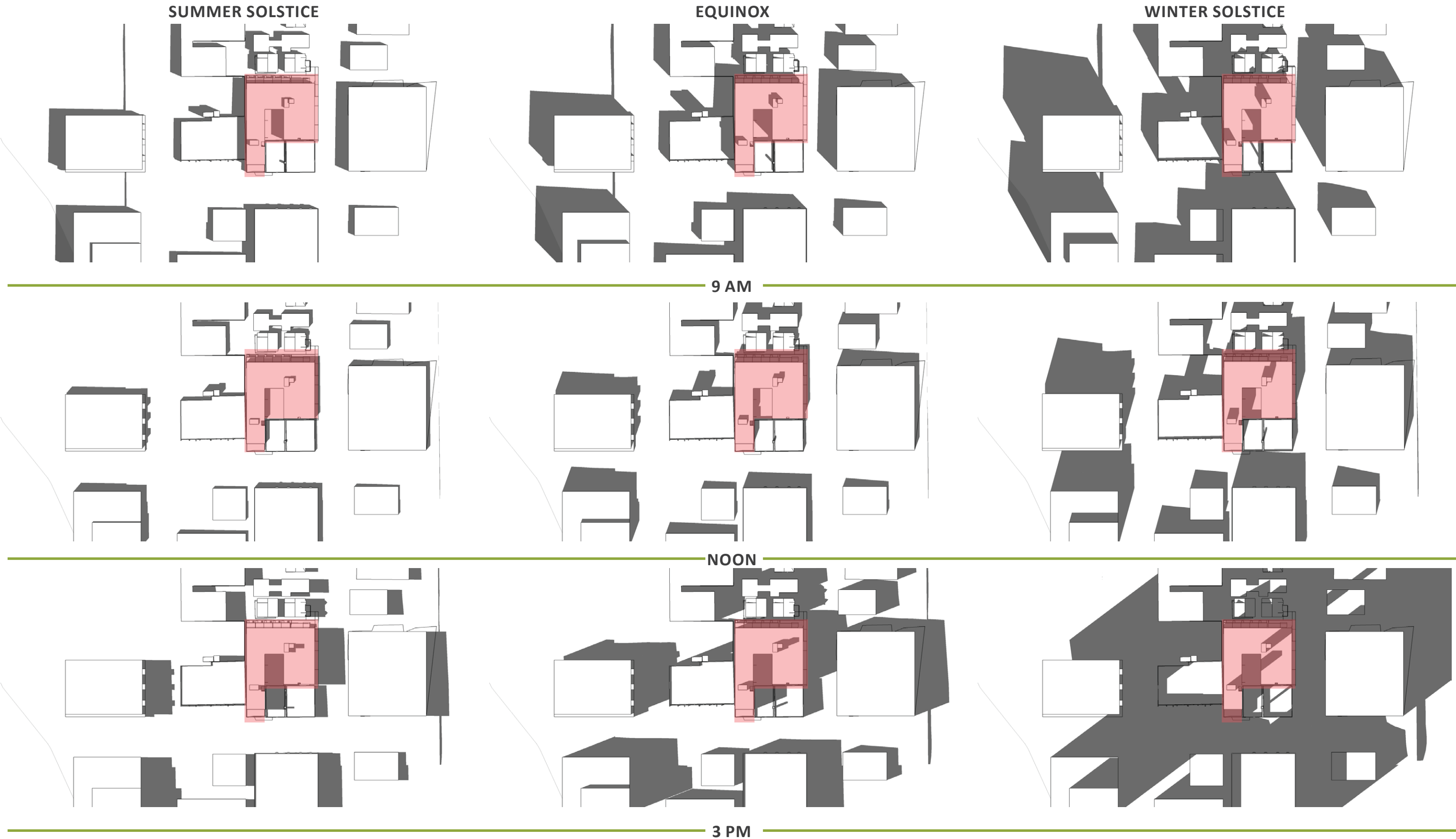


DETAIL PLAN - COMMERCIAL SPACE



DETAIL SECTION- COMMERCIAL SPACE

SHADOW STUDY

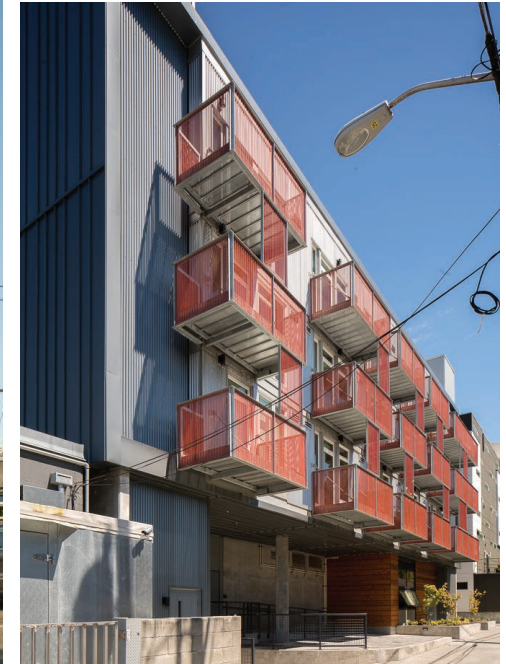


REVOLVE PROJECTS

RECENT PROJECTS DESIGNED & DEVELOPED BY REVOLVE



YARDHOUSE | 35-UNIT MULTIFAMILY | CAPITOL HILL, SEATTLE | 2014



STONE & ALLEN | 42-UNIT MULTIFAMILY / 2,300 SF RETAIL | WALLINGFORD, SEATTLE | UNDER CONSTRUCTIONS



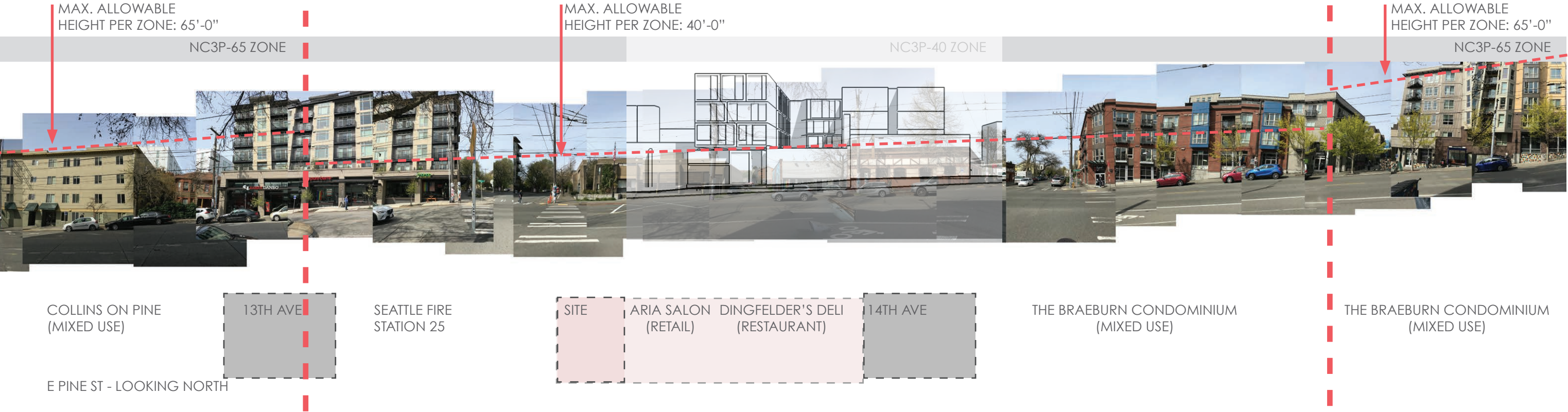
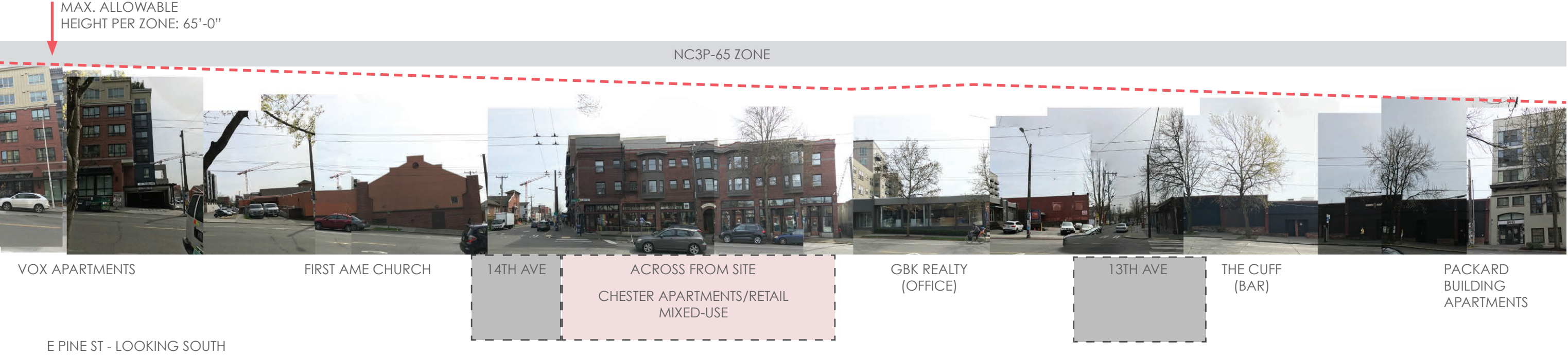
CRAFT | MIXED-USE 32-UNITS / 3,500SF RETAIL | FIRST HILL, SEATTLE | 2016

1320 E PINE

APPENDIX A
ADDITIONAL INFORMATION FROM EDG MEETING

URBAN DESIGN ANALYSIS

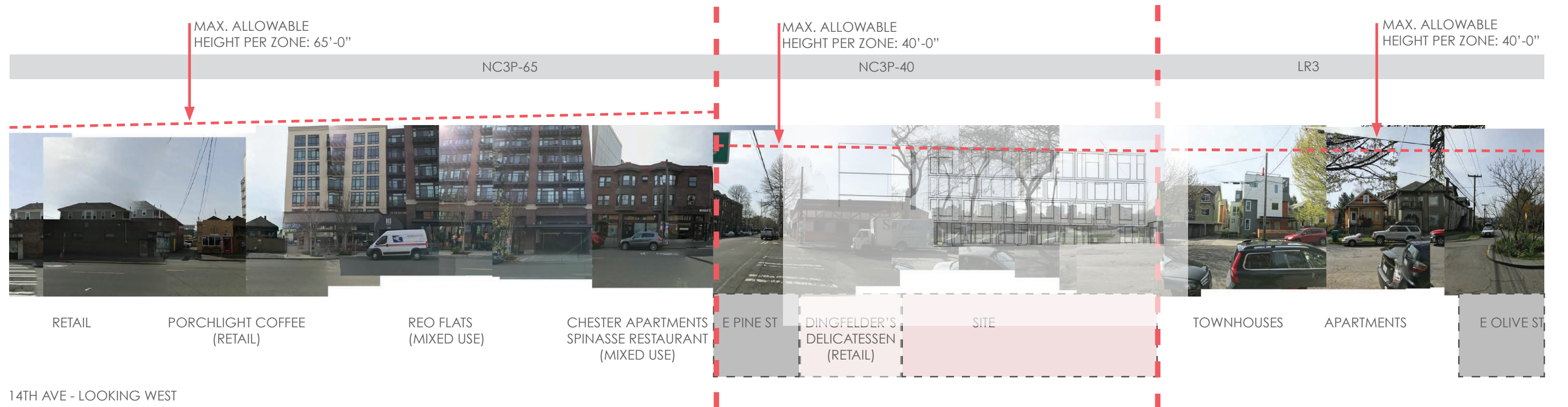
STREETSCAPE VIEW | E PINE STREET



1320 E PINE

URBAN DESIGN ANALYSIS

STREETSCAPE VIEW | 14TH AVENUE



URBAN DESIGN ANALYSIS

COMPOSITE SITE PLAN

The site is located in the Capitol Hill neighborhood of Seattle primarily fronting 14th Ave with a small segment fronting E Pine Street. The site is made up of three parcels measuring 128' x 120' with the small segment measuring 35' x 60'. The site has a slight slope from the northeast corner of the site and down to the southwest corner, with a steeper slope in the southwest portion. The site has no existing structures and is currently in use as a parking lot.

PROJECT ADDRESS: 1320 E Pine Street

PROJECT DESCRIPTION:

New mixed-use building with (1) floor of retail and (4) floors of residential over (1) level of underground parking.

ASSESSOR'S NUMBER:

600300-0805-00, 600300-0810-00, 600300-0814-00

LEGAL DESCRIPTION:

Parcel A:

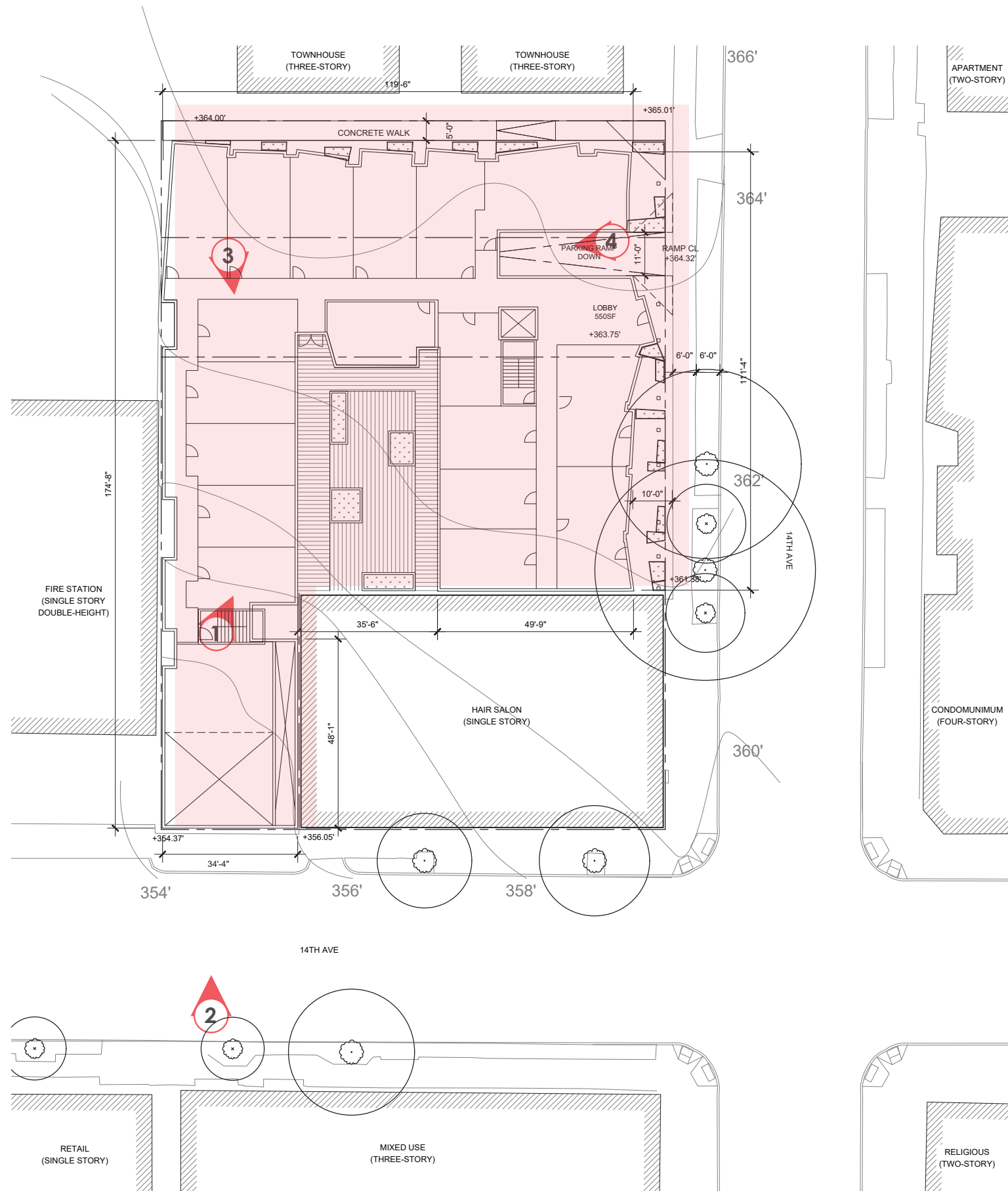
The north half of lot 10 in block 23 of an addition to the city of Seattle as laid off by D. T. Denny, guardian of the estate of J. H. Nagel, as per plat recorded in volume 1 of plats, page 153, records of king county auditor, (commonly known as Nagel's addition to the city of seattle);

Parcel B:

The south half of lot 10 in block 23 of an addition to the city of Seattle as laid off by D. T. Denny, guardian of the estate of J. H. Nagel, as per plat recorded in volume 1 of plats, page 153, records of king county auditor, (commonly known as Nagel's addition to the city of seattle);

Parcel C:

All of lot 11 and the west 35 feet of lot 12 in block 23 of an addition to the city of seattle laid off by D. T. Denny, guardian of the estate of j. H. Nagel, as per plat recorded in volume 1 of plats, page 153, records of king county auditor, (commonly known as Nagel's addition to the city of seattle); situate in the city of seattle, county of king, state of washington.



1320 E PINE

URBAN DESIGN ANALYSIS

EXISTING SITE PHOTOS



1 VIEW OF EXISTING SITE - LOOKING NORTHEAST



2 VIEW OF EXISTING SITE - LOOKING NORTH



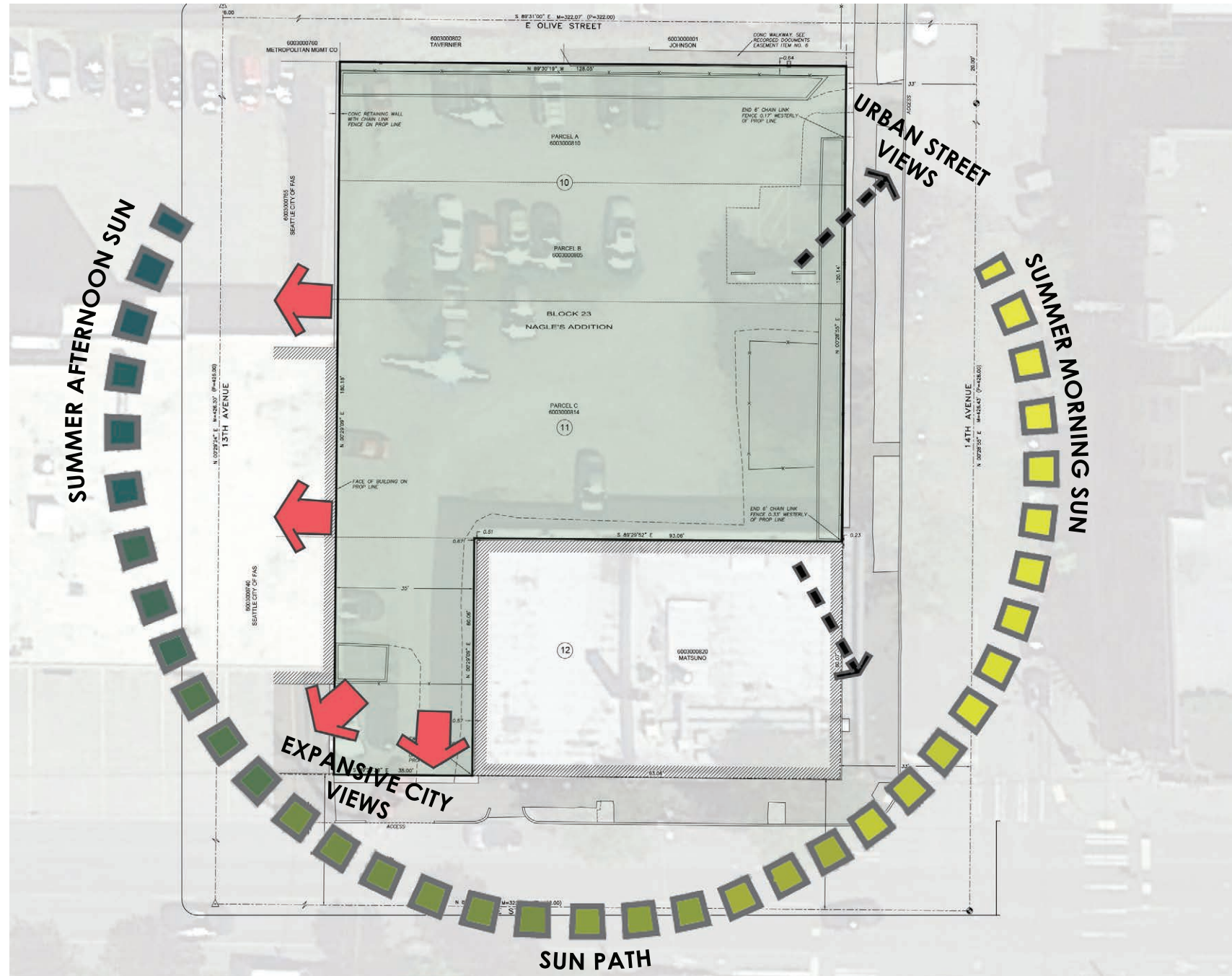
3 VIEW OF EXISTING SITE - LOOKING SOUTH



4 VIEW OF EXISTING SITE -
LOOKING WEST TO ADJACENT FIRE STATION

URBAN DESIGN ANALYSIS

SITE INFLUENCES & ACCESS ANALYSIS



OPPORTUNITIES:

DAYLIGHT & VIEWS

The site has excellent solar access from mid-morning through evening in summers. A roof deck provides views west and south. Height-variable setbacks to the north will reduce shading impacts to the townhouses.

CS1.B.2 - Daylight & Shading

TRANSIT CONNECTIVITY

The site is a block east from the bus stop running both directions on E Pine, with a major light rail connection blocks away to the northwest. Retail located at the sidewalk on Pine provides a clear connection to these access points.

PL4.C1- Active Transportation

CS2.III.ii.b - Maintain a continuous street wall

CONSTRAINTS:

TRAFFIC NOISE

There will be some amount of traffic noise along E Pine and intermittent noise from the adjacent Fire Station that can be mitigated through careful placement of exterior windows in the building envelope.

CS2.B.2 - Connection to the Street

ADJACENCY TO LOW RISE ZONING

The transition to the lowrise LR3 zone at the North property line creates the need to address the lower scale through a more sensitive approach to the modulation and placement of the facade elements and openings. Strategies for addressing open space to maximize access to light and air include using setbacks as well as creating a finer scale of form and modulation at the ground level.

CS2.III.ii.c - Provide Rear setbacks to maximize access to light and air

CS2.D.3 - Zone Transitions

CS2.D.5 - Respect for Adjacent Sites

1320 E PINE

DESIGN GUIDELINES

(SDG) CS1. NATURAL SYSTEMS AND SITE FEATURES

- B. SUNLIGHT & NATURAL VENTILATION
2. DAYLIGHT & SHADING

Low buildings to the West and Southeast provide significant solar access to the project site. The central courtyard is open to the south allowing plenty of light and air to interior facing units as well. The courtyard provides an amenity that activates the center of the building, providing air and natural light deep in the site. The courtyard is an amenity space to all residents, but presents ground level interior units direct access to the space.



PRECEDENT IMAGE: COURTYARD

(SDG) PL3. STREET-LEVEL INTERACTION

(SDG) CS2. URBAN PATTERN AND FORM

- A. LOCATION IN THE CITY & NEIGHBORHOOD
- 1. SENSE OF PLACE
- 2. ARCHITECTURAL PRESENCE

With density comes the challenge of maintaining the values and character of the neighborhood while contributing to the visual language of the area at a more urban scale. A carefully modulated building on this site, crafted with durable and natural materials, has the potential to express quality and positively contributes to the level of design in the district.

- B. (P/PDG). ADJACENT SITES, STREETS & OPEN SPACES
- 2. CONNECTION TO THE STREET
- 3. CHARACTER OF OPEN SPACE

Along 14th Avenue:
The lobby/primary building entrance is located mid-block along 14th Ave, with a highly permeable floor to ceiling glass storefront of high-quality materials. At the north edge of the site a carefully landscaped pathway will extend West to provide ‘front-door’ access to the north-facing units at Level 1.

Several walk-up units designed similar to the more residential character of the street. Large sidewalk planting areas, appropriate to ‘green street’ design, will be incorporated in coordination with SDOT.

Along East Pine:
The entire facade at E Pine is dedicated to retail, with expansive glazing and apparent entrances. The upper floors will stepback to allow more space from the street in accordance with their residential use.

- C. RELATIONSHIP TO THE BLOCK
1. MID-BLOCK SITES

The retail will continue a strong sidewalk edge with party walls that provide visual interest through materials, color and texture



IMAGE: RETAIL SCALE AT E PINE ST

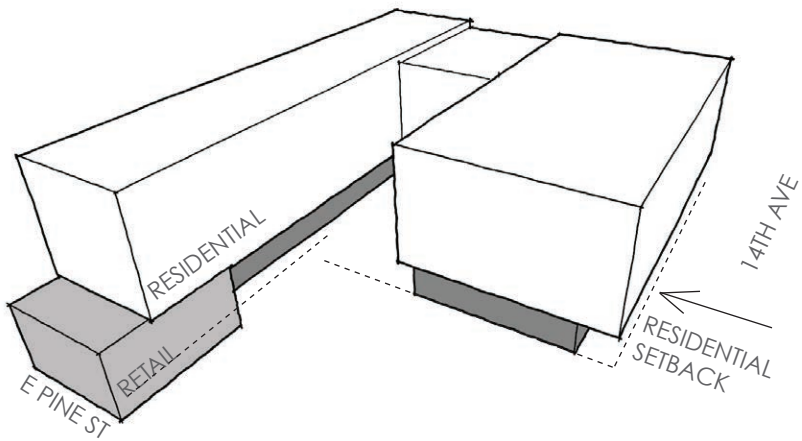
(SDG) CS2. URBAN PATTERN AND FORM

- D. HEIGHT, BULK & SCALE
2. EXISTING SITE FEATURES
3. ZONE TRANSITIONS
4. MASSING CHOICES
5. RESPECT FOR ADJACENT SITES

The form of the building at the urban scale is comprised of three horizontal bars, with grade level spaces presented as either recessed planes (14th Ave units), support blocks, or blocks upon which the upper masses rest (E Pine retail). In addition, the progressive setback along the North property line allows us to present ground floor units at the base of the facade as a ‘village’ of smaller connected forms whose scale and form will better suit the nearby low-rise residential projects.



PRECEDENT: ‘VILLAGE’ UNITS



PREFERRED SCHEME - PROGRAMMATIC MASSING
DIAGRAM

(SDG) CS3. ARCHITECTURAL CONTEXT AND CHARACTER

- A. EMPHASIZING POSITIVE NEIGHBORHOOD ATTRIBUTES
2. CONTEMPORARY DESIGN
4. EVOLVING NEIGHBORHOODS

The simple massing of the building and clean detailing of its high quality materials will compliment the better examples of the existing architectural styles of the neighborhood. The blending of classic natural materials rendered in modern forms will evoke a visual language that simultaneously adds a new voice to the neighborhood, while maintaining balance with the surrounding buildings.

DESIGN GUIDELINES

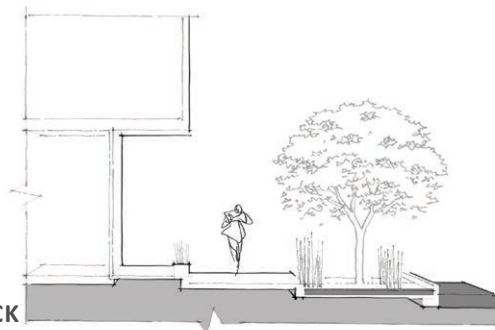
(P/PDG) CS2 URBAN PATTERN AND FORM

- I. LOCATION IN THE CITY AND NEIGHBORHOOD
- II. ADJACENT SITES, STREETS, AND OPEN SPACES
 - i. SITE CHARACTERISTICS
- III. RELATIONSHIP TO THE BLOCK
 - ii. SMALL SITE DEVELOPMENT

The massing of the building responds to the neighborhoods context with the use of durable materials, transparent commercial street level uses oriented towards E Pine, straightforward structural design, and longer building widths reduced to a rhythm of offset ‘bays’ along 14th Avenue. Driveway access is oriented at the quieter 14th Avenue side.

- IV. HEIGHT, BULK AND SCALE COMPATIBILITY
 - i. SCALE AND FORM

The massing of the building responds to the neighborhood’s context by providing modulations of form in an organized manner. Upper level setbacks and treatment to the upper floors on the North facade will allow a cleaner transition to the low-rise zoning of the adjacent parcels.



SECTION: RESIDENTIAL SETBACK

(P/PDG) PL3 STREET-LEVEL INTERACTION

- I. RESIDENTIAL ENTRIES
- II. RESIDENTIAL EDGES
- III. RETAIL EDGES



PRECEDENT: RESIDENTIAL SETBACK, PRIVACY PLANTERS, USABLE SPACE

(P/PDG) CS3 ARCHITECTURAL CONTEXT AND CHARACTER

- I. EXISTING ARCHITECTURAL CONTEXT
 - i. RESPOND TO THE ARCHITECTURAL TRADITION
 - ii. NEW DEVELOPMENT IN AREAS LACKING WELL-DEFINED CHARACTER
- II. ARCHITECTURAL COMPATIBILITY
 - i. REFERENCE ARCHITECTURAL FEATURES OF EXISTING STRUCTURES
 - ii. DESIGN NEW STRUCTURES FOR COMPATIBILITY WITH EXISTING CONTEXT

The building massing and material treatment serve to create a distinct but cohesive design that leverages the proportions inherent in the zoning envelope.

Modern buildings in the area such as Mad Flats, the Bullitt Center, and the Broadcast building demonstrate an evolving local design language. Our goal is to continue development of this modern building typology, while respecting the character and diversity of the neighborhood.

Our proposal utilizes elements from both Design Approaches of Modulated Façade and Traditional Residential and blends them to create a unified façade expression



MODULATED FACADE EXPRESSION

(P/PDG) DC3 ARCHITECTURAL CONCEPT

- I. RESIDENTIAL OPEN SPACE
 - i. LOCATE BALCONIES TO RESPOND TO NEIGHBORHOOD CONTEXT
- II. STREET LANDSCAPING

Balconies and a majority of the units will face an inner courtyard and the rear of the lot allowing appropriate privacy and residential character.

(P/PDG) DC2 ARCHITECTURAL CONCEPT

- I. CONCEPT
 - i. DESIGN CONCEPT SHOULD EMPHASIZE SIMPLE FACADE CHARACTER

The design of the building will emphasize a simple, bold facade constructed with careful details and a minimal palette of materials. At levels 2-4 the horizontal mass will be captured top and bottom by two continuous planes. The main body of the horizontal mass is comprised of ‘boxes’ of two different widths, organized in a large-scale repeating pattern.



CAREFUL DETAILS WITH A MINIMAL PALETTE

(P/PDG) DC4 EXTERIOR ELEMENTS AND FINISHES

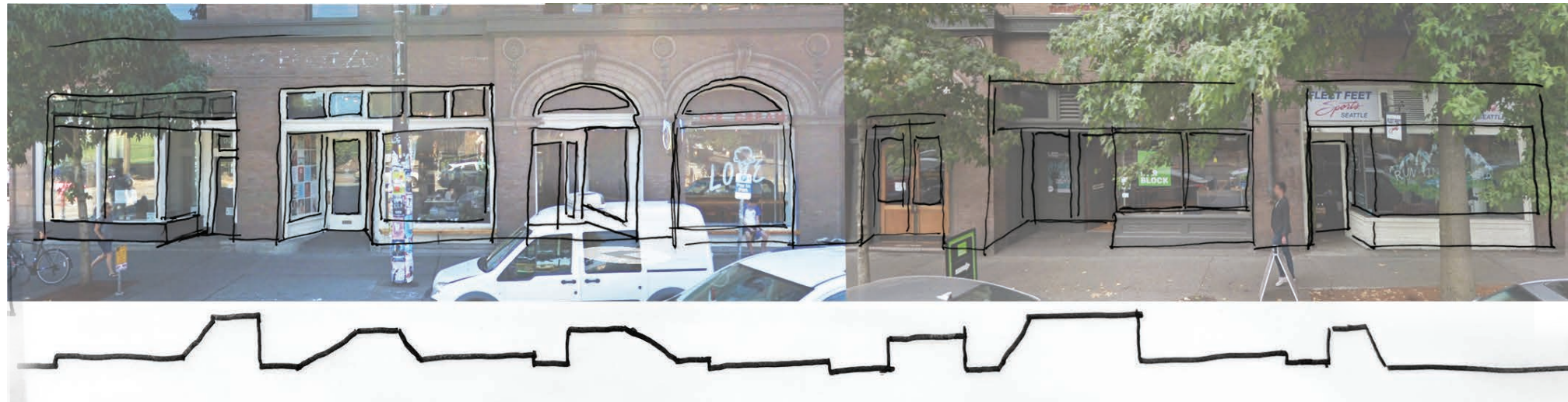
- I. EXTERIOR FINISH MATERIALS
 - i. BRICK, MASONRY, CONCRETE, TRUE STUCCO
 - iv. LIMITED NUMBER OF EXTERIOR FINISH MATERIAL
 - vi. MATERIALS AND TREATMENTS THAT ARE CONSISTENT WITH A SPECIFIC DESIGN APPROACH

The design proposal envisions the use of high-quality materials such as wood, metal panel, brick masonry cladding & wood storefronts. A highly transparent/open retail storefront will help create views of interior activity and a blending of interior and exterior uses. A limited material palette will allow for a strong and clean design.

At the ground level units along 14th Ave the smaller scale residential treatment will feature planters, wood screening elements, concrete patios/stairs and metal handrails. Each unit entry will function as a composition of human scale elements to define the space fronting the street while seeking to provide security and privacy for the occupants.

MASSING ANALYSIS

NEIGHBORHOOD STREETSCAPE ANALYSIS



COMMERCIAL STREETSCAPE



THE GROUND FLOOR AT CHESTER APARTMENTS



RESIDENTIAL STREETSCAPE

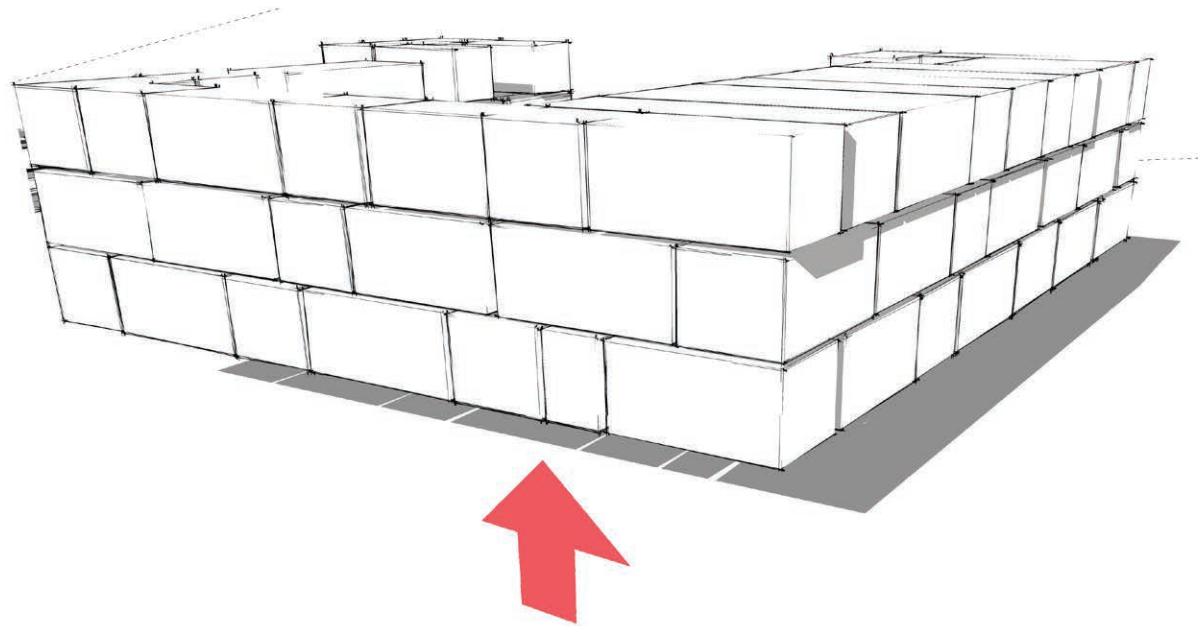


NEIGHBORING RESIDENTIAL ENTRY WITH BAY WINDOW TYPOLOGY

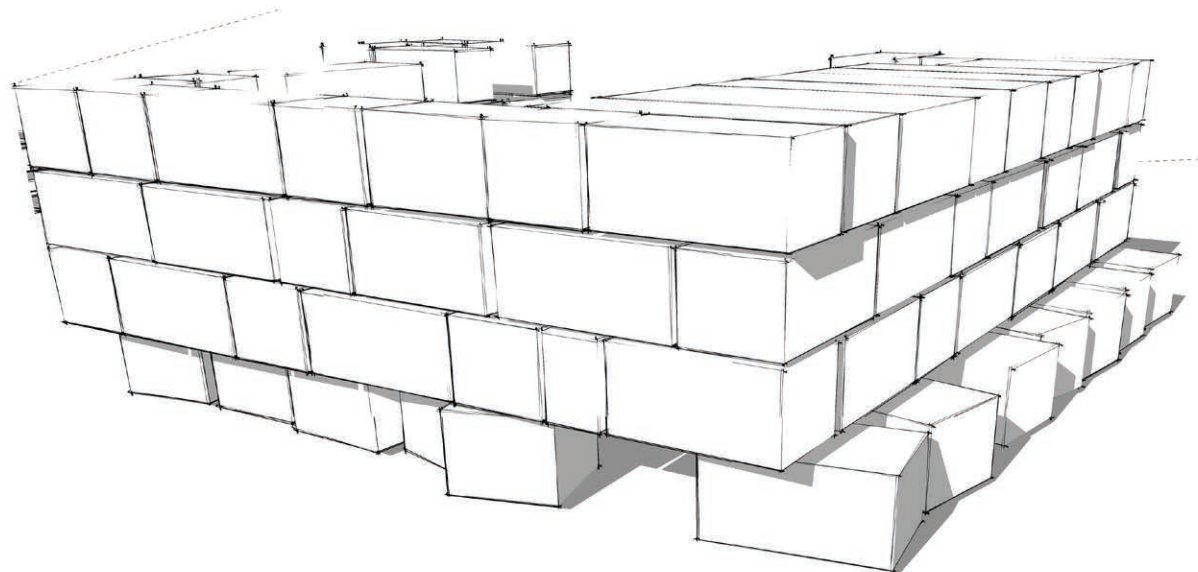
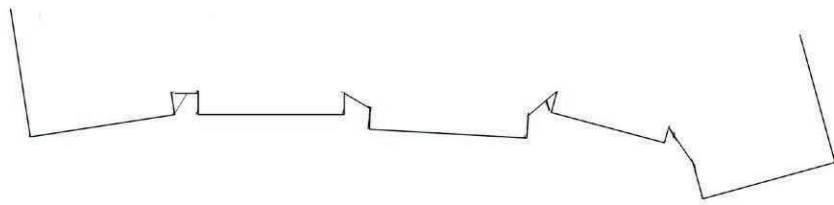
MASSING ANALYSIS

PARTI DIAGRAM

STACKED BOXES



BAY TYPOLOGY



1320 E PINE



PREFERRED SCHEME - NORTH UNITS



PREFERRED SCHEME - VIEW FROM 14TH AVE

MASSING ANALYSIS

NORTH GROUND LEVEL RESIDENTIAL ENTRY



PREFERRED SCHEME - SECTION SHOWING NEIGHBORING TOWNHOUSE